



Planning & Development Division
Planning & Economic Development Department

Room 160
 411 West First Street
 Duluth, Minnesota 55802

📞 218-730-5580

✉️ planning@duluthmn.gov

File Number	PLPR-2409-0002	Contact	Chris Lee, clee@duluthmn.gov	
Type	MU-C Plan Review	Planning Commission Date	October 8, 2024	
Deadline for Action	Application Date	September 4, 2024	60 Days	November 3, 2024
	Date Extension Letter Mailed	September 14, 2024	120 Days	January 2, 2024
Location of Subject	4250 Haines Rd			
Applicant	Arola Architecture Studio, LLC	Contact	Ryan Arola	
Agent	F.I. Salter	Contact	Sandy Hoff	
Legal Description	PIN: 010-2710-04490			
Site Visit Date	September 21, 2024	Sign Notice Date	September 24, 2024	
Neighbor Letter Date	September 20, 2024	Number of Letters Sent	12	

Proposal: Applicant is proposing the development of a new tunnel car wash.

Recommended Action: Staff recommends that Planning Commission approve the plan review with conditions.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	MU-C	Vacant Lot	Central Business Secondary
North	MU-C	Commercial	Central Business Secondary
South	RR-1	Undeveloped	Open Space
East	RR-1	Residential	Open Space
West	Hermantown	Mixed Use	N/A

Summary of Code Requirements:

50-15.3.E MU-C District – Planning review by the Planning Commission is required for most development and redevelopment. Development Standards:

50-18.1 Shoreland, Flood Plains, Wetlands, Stormwater.

50-23 Connectivity and Circulation – Focuses on pedestrian and bicycle accommodations.

50-24 Parking and Loading – Addresses required parking spaces, loading docks, and snow storage.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle #1- Reuse previously developed lands

This project will reuse property previously developed as a parking lot for RV storage and an Elks Lodge.

Future Land Use

Central Business Secondary: An area adjacent to and supporting the central business primary area or a stand-alone area providing a similar mix of destination land uses but at a lower intensity than the primary central business area. Includes mixed regional and neighborhood retail, employment centers, public spaces, medium density residential, and public parking facilities.

Recent History

The property is currently vacant. The property once housed the Elks Lodge that was closed and demolished.

Review and Discussion Items:

Staff finds that:

- 1) The applicant is seeking a MU-C Planning Review to construct an 8,100 sq ft tunnel style carwash on a previously developed property. A planning review is required for all development or redevelopment in a MU-C zone district.
- 2) UDC 50-24 Sec. (Parking and loading). This use does not have a maximum parking limit, but the applicant is proposing 4 parking stalls for customers and employees not using the washing or vacuuming facilities. As proposed, the facility will have space to allow stacking for 15 cars to prevent vehicles from backing up onto Haines Road.
- 3) UDC Sec. 50-25 (Landscaping and tree preservation). This project must provide frontage landscaping along Haines Road, tree canopy coverage of parking areas and impervious areas and replace trees removed from the site. The applicant must submit landscaping plan that meets the standards in Sec. 50-25 of the City Code, and this must be approved by the Land Use Supervisor prior to receiving a building permit.
- 4) UDC Sec. 50-26 (Screening, Walls and Fences). The trash enclosures are proposed near the north property line. A dense urban screen is required as a use specific standard for car washes in the MU-C district. The applicant will need to submit plans showing that screening is installed on the north property line prior to receiving the building permit.
- 5) UDC Sec. 50-29 (Sustainability) The applicant will need to submit documentation of techniques used to meet the sustainability requirements in Sec. 50-25 of the City Code prior to receiving the building permit.
- 6) UDC Sec. 50-30 (Design Standards). The proposed structure meets these requirements for wall articulations, vertical articulations, and transparency.
- 7) UDC Sec. 50-31 (Exterior Lighting). All exterior lighting must meet standards for downcast lighting, output, and color temperature. The applicant must submit a photometric plan and drawings for exterior mounted fixtures that demonstrate compliance with Sec. 50-31 of the City Code, and this must be approved by the Land Use Supervisor prior to receiving a building permit.
- 8) Tom Johnson, Stormwater Engineer, provided comment: "This project will need to provide stormwater management facilities that provide water quality controls, that include sediment, floatable pollutants, phosphorus and temperature controls – Miller Creek is impaired for temperature and has a MPCA approved TMDL. This creek is a trout stream. A drainage report will be required as part of the project. The project shall not increase peak discharge rates from the existing condition." No other City, agency, or public comments were received.
- 9) According to UDC 50-37.1.N, an approved Planning Review will expire if the project or activity authorized by the permit is not begun within 1 year.

Staff Recommendation

Staff recommended Planning Commission approve the MU-C planning review, with the following conditions that must be met. Conditions can be contingent upon either: issuance of a building permit or a certificate of occupancy:

- 1) Applicant shall submit a landscaping plan that fully conforms with the requirements of the UDC and this landscaping plan will be approved by the Land Use Supervisor prior to receiving a building permit;
- 2) Applicant shall submit a lighting plan with photometric plan and drawings for fixtures that fully conform to the requirements of the UDC, and this lighting plan shall be approved prior to receiving a building permit;
- 3) Applicant shall indicate how sustainability standards (Sec 50-29) are being met prior to receiving a building permit;
- 4) Applicant shall submit stormwater plans showing compliance with City Engineering requirements;
- 5) Applicant shall construct and maintain the project as identified in the attached exhibits.
- 6) Any alterations to the approved plans that do not alter major elements of the plans may be approved by the Land Use Supervisor without further Planning Commission; however, no such administrative approval shall constitute a variance from the provisions of UDC Chapter 50.



PLPR-2409-0002
 MU-C Planning Review
 4250 Haines Road

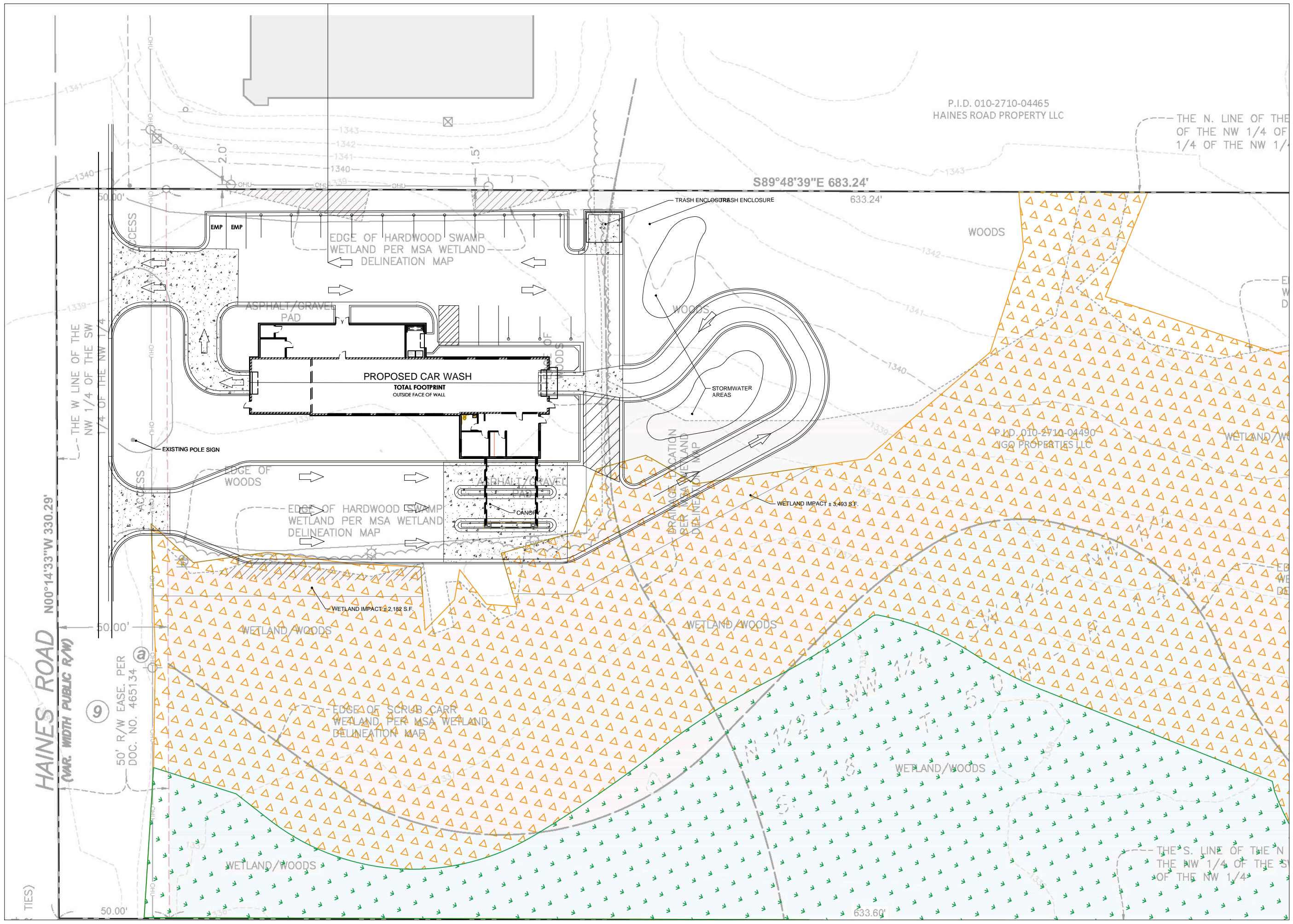
Legend



Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





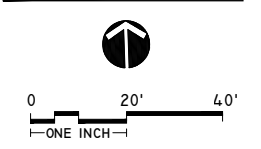
LANDSCAPE ARCHITECTURE
+ ASSOCIATES

WWW.SASLANDARCH.COM
 219 WEST FIRST STREET, SUITE 350
 DULUTH, MN 55802
 (P) 218.391.1335

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Issue Record/Revision Purpose	Date

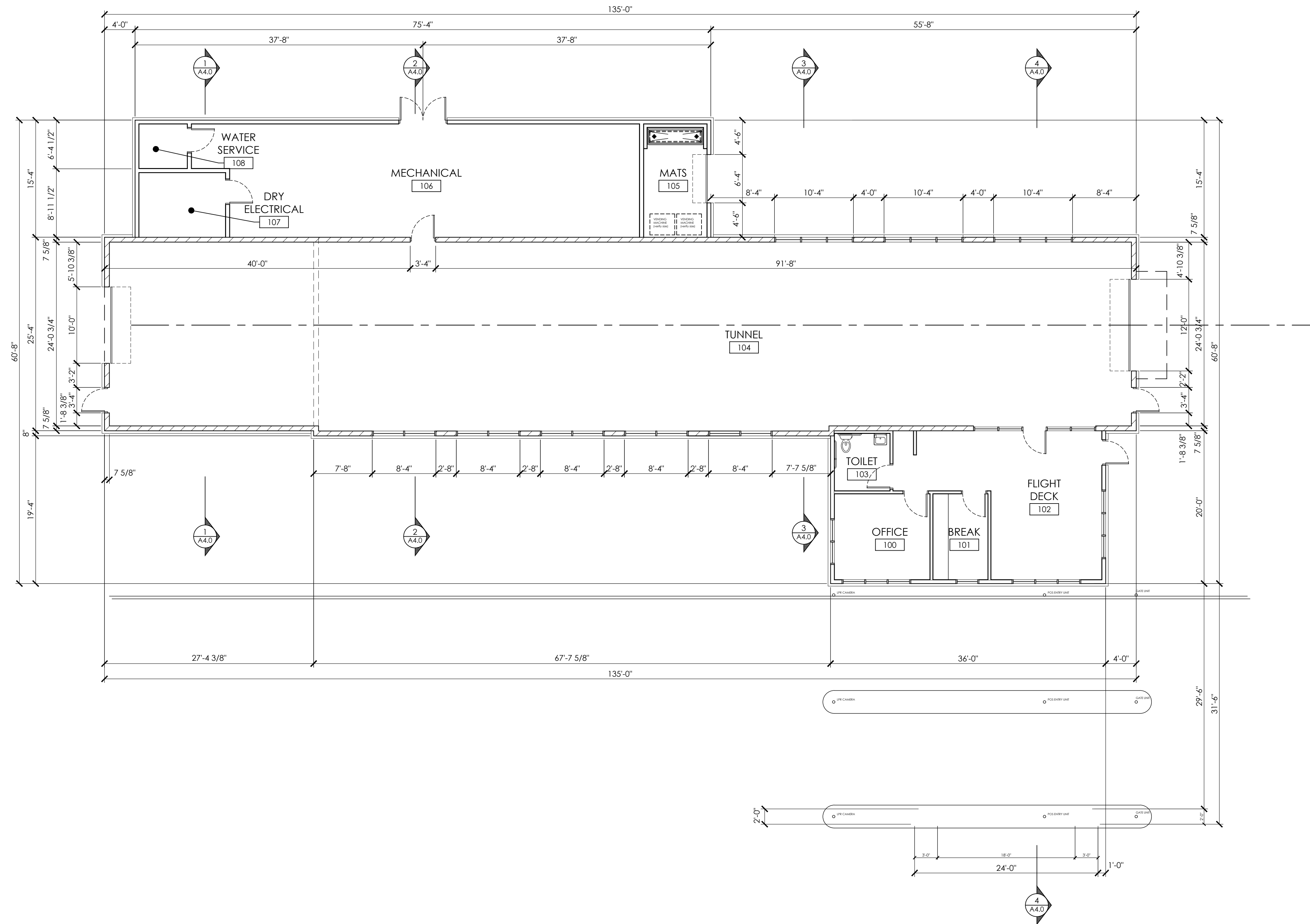
TANNERS EXPRESS
(ex-Eiks Site)
 4250 HAINES RD
 DULUTH, MINNESOTA



Sheet Key

Sheet Title
PRELIMINARY LAYOUT

Date: 8/14/2024
 Drawn By: LWS
 Checked By: LWS
 Project Number: 24030
 Sheet Number: P-1.0



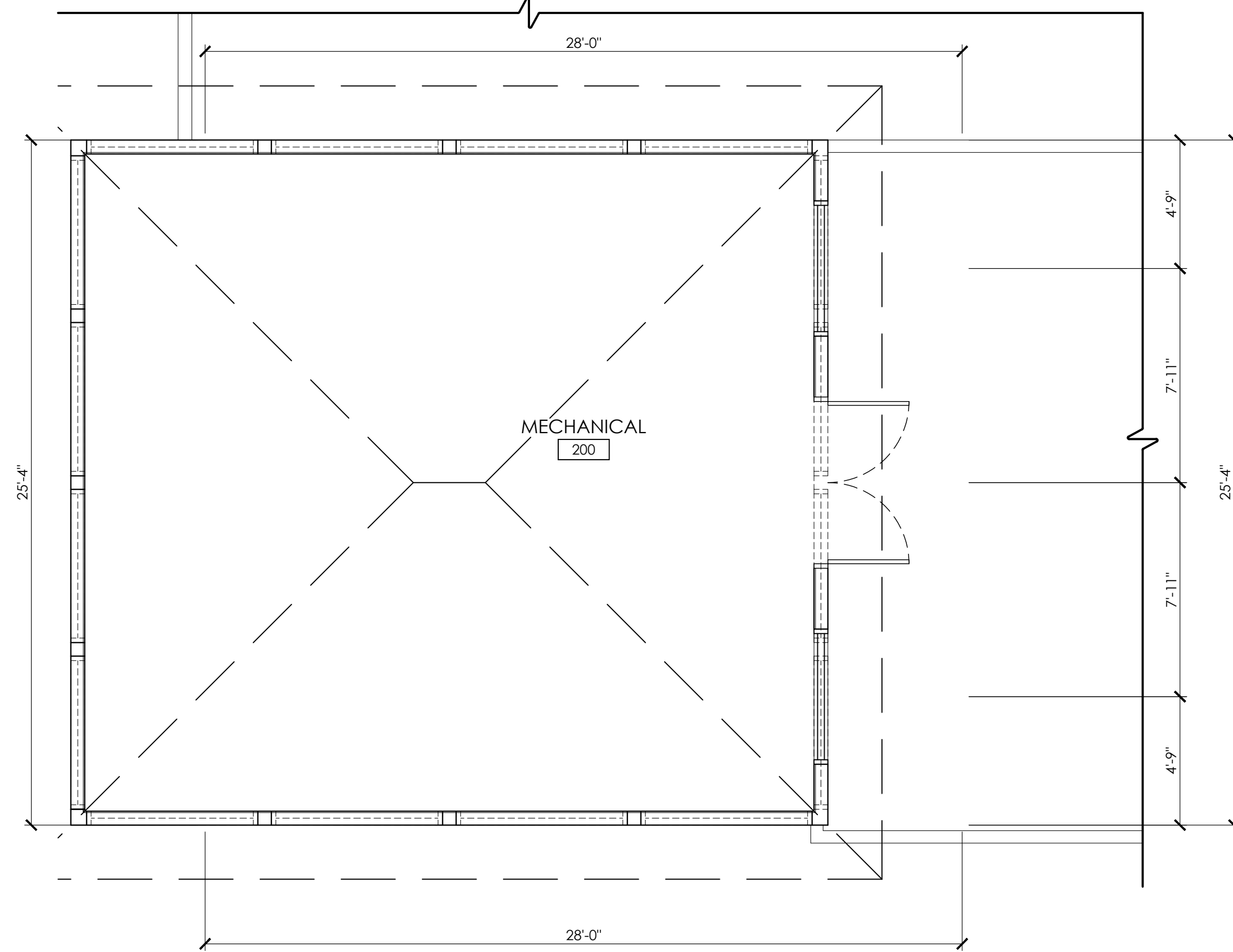
1 FLOOR PLAN - 5,340 SF
1/8"=1'-0"

GENERAL NOTES

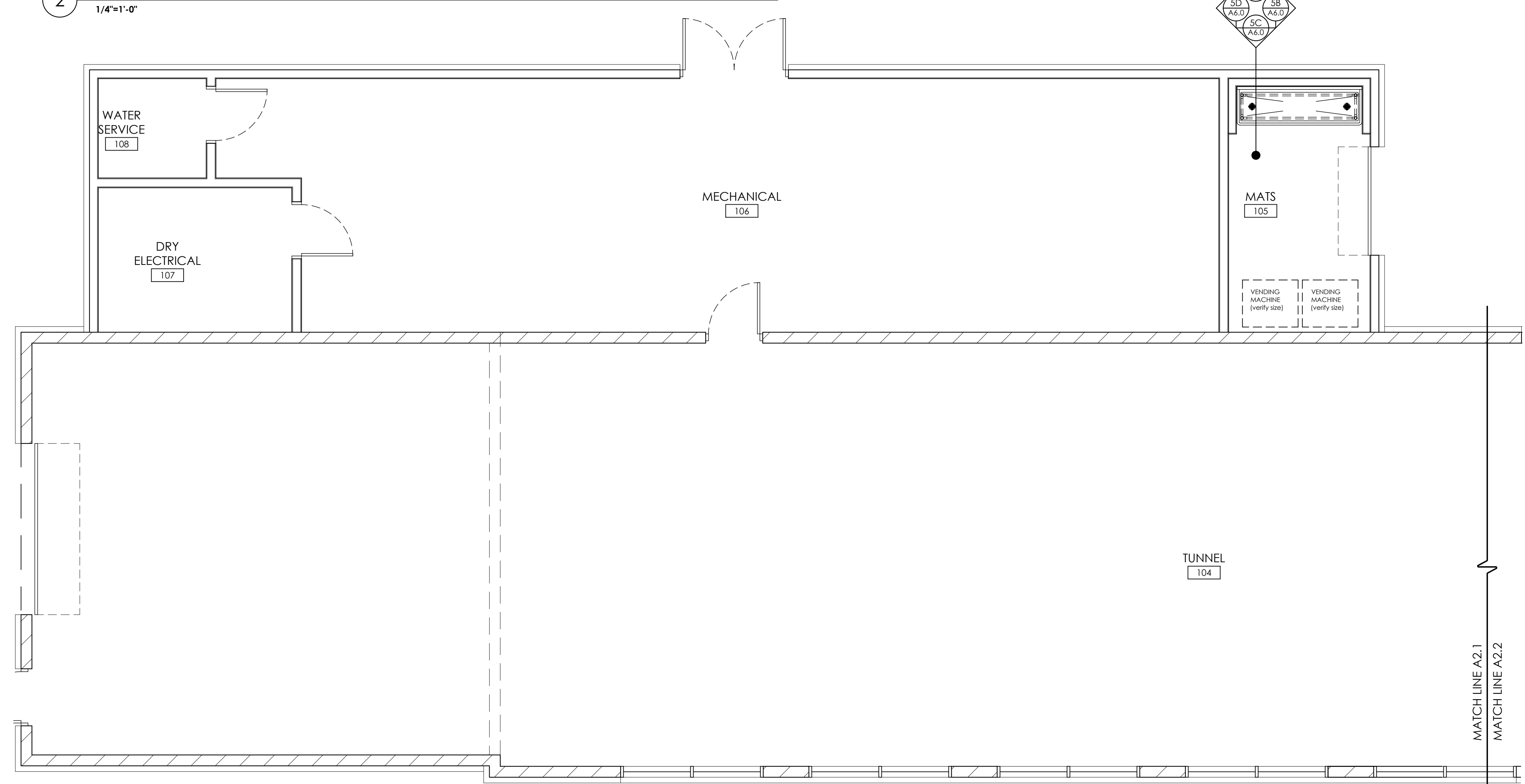
- DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)
 - EXISTING CONSTRUCTION -OUTSIDE FACE
 - NEW CONSTRUCTION -FACE OF STUD/BLOCK
 - PLUMBING FIXTURES -CENTERLINE
 - DOORS -CENTERLINE
 - WINDOWS -CENTERLINE
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY.
- LANDSCAPE DESIGN BY OTHERS.
- SEE CIVIL FOR SITE AND GRADING

KEYED NOTES

- XXXXXX
- XXXXXX
- XXXX
- XXXX
- XXXXX
- XXXXX
- XXXXX
- XXXXXX



2 TOWER FLOOR PLAN-733 S.F.
1/4"=1'-0"



1 ENLARGED FLOOR PLAN
1/4"=1'-0"

- GENERAL NOTES**
- DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)
 - EXISTING CONSTRUCTION -OUTSIDE FACE
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- KEYED NOTES**
- XXXXXX
 - XXXXXX
 - XXXX
 - XXXX
 - XXXX
 - XXXX
 - XXXX
 - XXXXXX

AROLA
ARCHITECTURE STUDIO, LLC
501 LAKE AVE. SOUTH - SUITE 205 - DULUTH, MN 55802
218-740-5219
WWW.AROLAARCH.COM

TANNER'S EXPRESS CAR WASH
PROJECT ADDRESS

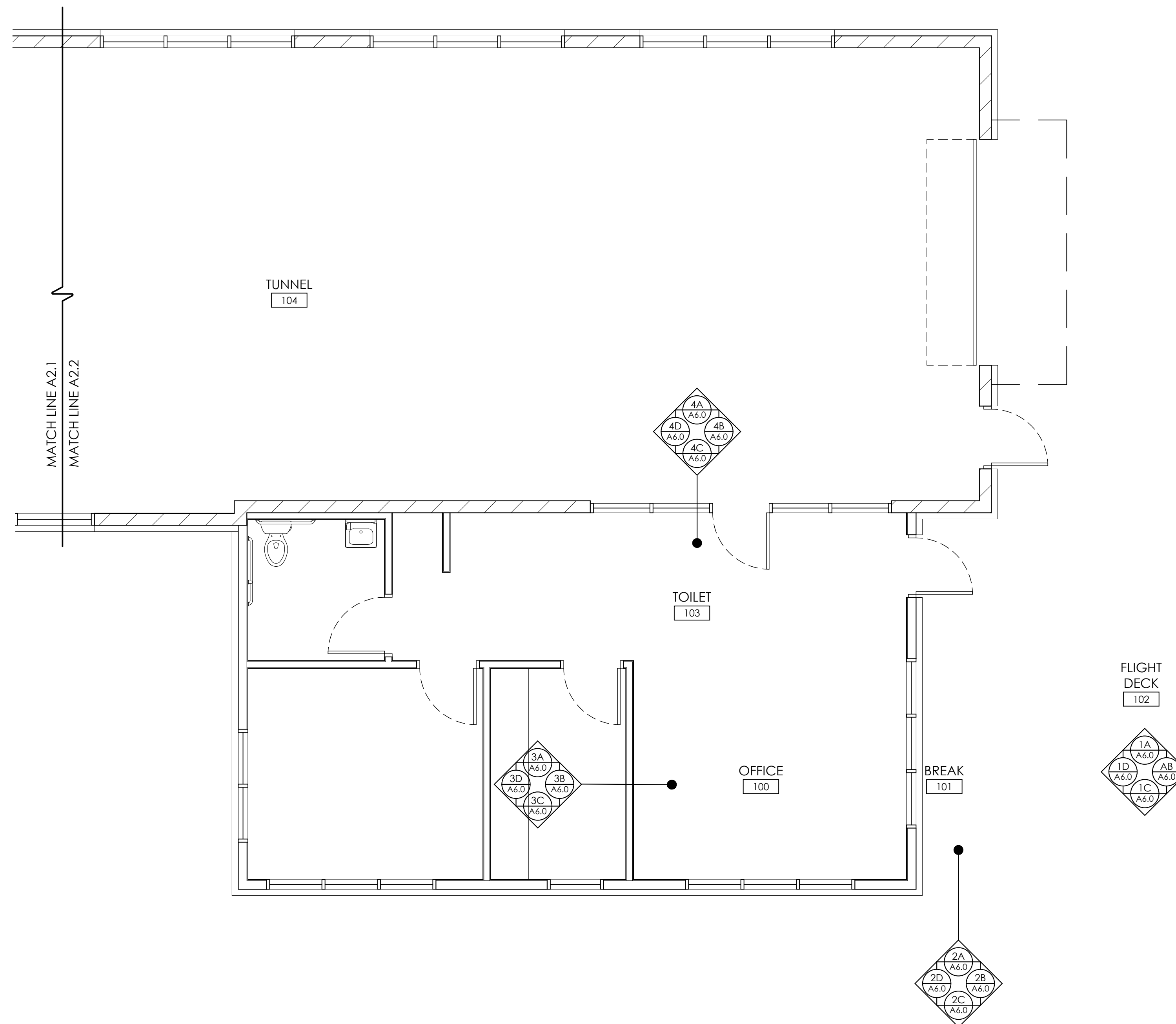
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XX/XX/XXXX

PROJECT NO.
2432

REVISIONS

SHEET NO.
A2.1



3 ENLARGED FLOOR PLAN
1/4"=1'-0"

GENERAL NOTES

- DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)
 - EXISTING CONSTRUCTION -OUTSIDE FACE
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KEYED NOTES

- XXXXXX
- XXXXXX
- XXXX
- XXXX
- XXXXX
- XXXXX
- XXXXX
- XXXXXX

TANNER'S EXPRESS CAR WASH
PROJECT ADDRESS

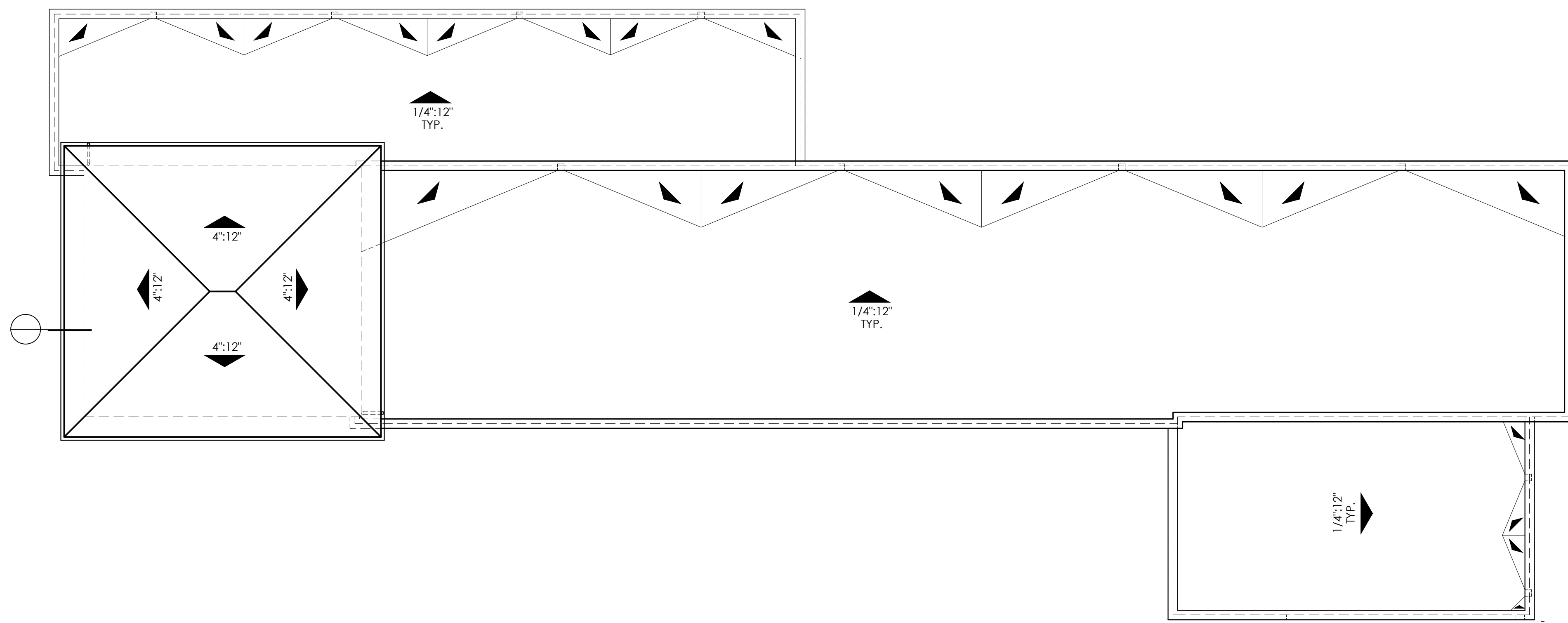
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DATE: 08-14-2024

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XX/XX/XXXX

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2432

REVISIONS

SHEET NO.
A2.2



(X) KEYED ROOF PLAN NOTES

1. EPDM ROOFING TYPICAL.
2. METAL ROOFING.
3. PARAPET WALL PER DETAIL #/A4.3. SEE ELEVATION FOR HEIGHT.
4. GUTTER AND DOWNSPOUT.
5. SCUPPER AND DOWNSPOUT.?
6. XXXXXXXXX
7. XXXXXXXXX

1 ROOF PLAN
1/8"=1'-0"

PRELIMINARY
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TANNER'S EXPRESS CAR WASH
PROJECT ADDRESS

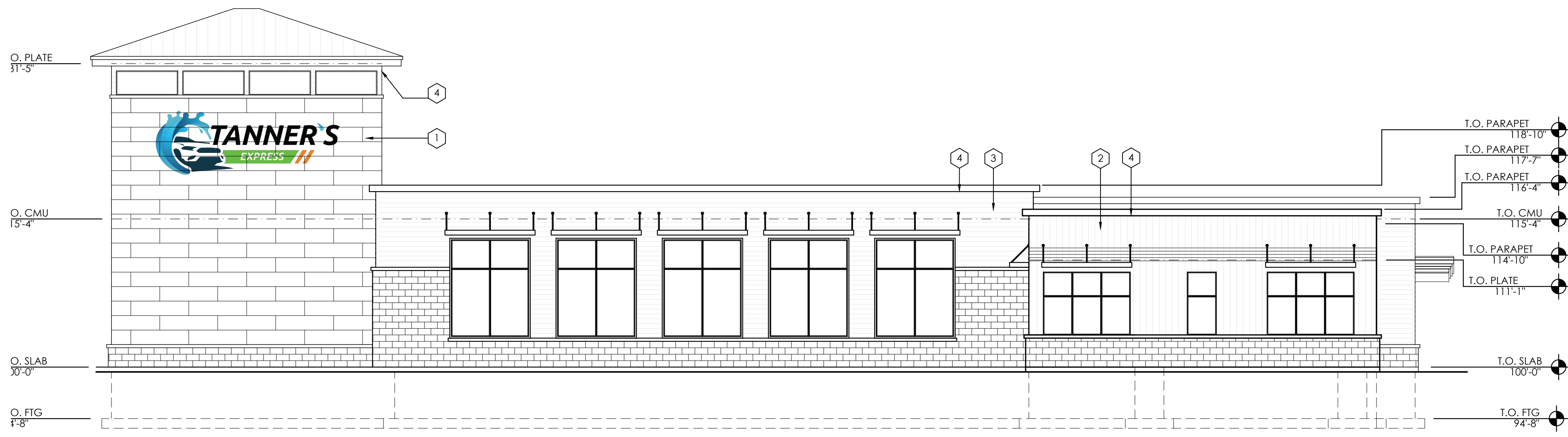
ISSUE DATE
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REVISIONS

SHEET NO.

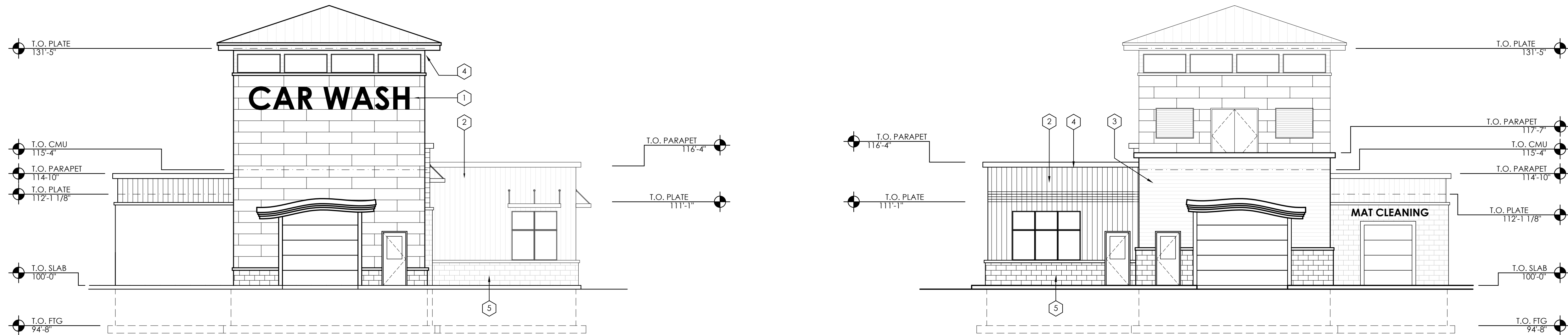
A2.3



ELEVATION NOTES:

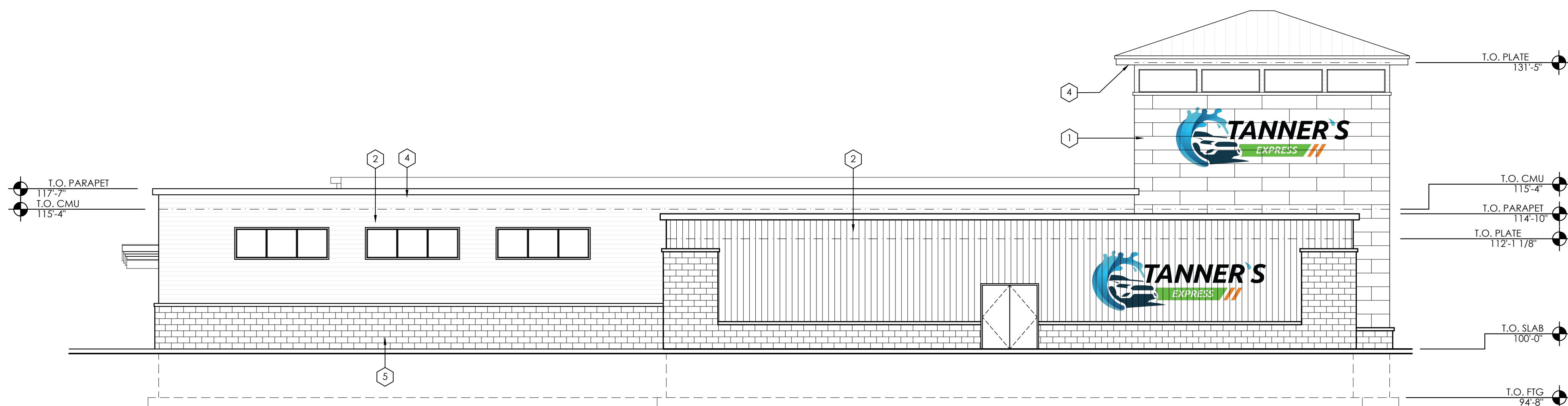
- ① NICHIIA- "MIRIA" WHITE
- ② EXTERIOR METAL SIDING-VERTICAL
- ③ EXTERIOR SIDING-HORIZONTAL
- ④ LED LIGHT STRIP
- ⑤ SPLIT FACE BLOCK

4 SOUTH ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"

3 EAST ELEVATION
1/8"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"

PRELIMINARY
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DATE: 08-14-2024

TANNER'S EXPRESS CAR WASH
PROJECT ADDRESS

ISSUE DATE
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PROJECT NO.
2432

REVISIONS

SHEET NO.

A3.0