

**LICENSE AGREEMENT
BETWEEN CITY OF DULUTH
AND STATE OF MINNESOTA**

THIS LICENSE AGREEMENT (this “Agreement”) is entered into by and between the STATE OF MINNESOTA, by and through its Commissioner of Transportation (the “State”), and the CITY OF DULUTH, a municipal corporation created and existing under the laws of Minnesota (“City”).

The parties acknowledge the following:

A. City owns the real property located in the Fond du Lac neighborhood of Duluth, St. Louis County, Minnesota that is legally described on the attached Exhibit A and used for open space purposes (the “City Property”). The City Property is depicted on the attached Exhibit B.

B. The State of Minnesota’s Office of the State Archeologist has designated or will designate the boundaries of the Mission Creek Cemetery site (the “Site”), which includes a portion of the City Property and additional property owned by third parties.

C. The State has developed plans and specifications for a culturally appropriate landscape design for the Site, which are attached as Exhibit C (the “Plans”), and the State desires to construct and install a landscaping project based on the Plans on the Site (the “Project”). The Project is summarized as follows:

1. Remove the existing West 4th Street and 132nd Avenue West bituminous surface, as shown on Exhibit B, then place soil and complete plantings on those areas (on the City Property);
2. Remove existing drainage culverts (two culverts total on the City Property);
3. Construct a stone boundary wall at the base of the slope (within the Site);
4. Construct a gravel trail to a small sitting area (on the City Property);
5. Construct a natural waterway section to transport spring water across the Site to the ditch at the base of the slope and then to Mission Creek (within the Site);
6. Construct a welcome area including interpretive monuments at the base of the slope and the stone boundary wall (within the Site);
7. Place topsoil over areas that have been disturbed by previous construction operations (within the Site); and
8. Establish native plant communities consisting of mixed forest species and native understory with the anticipation of 100% cover in non-vegetated areas and 25% cover in areas with existing vegetation (within the Site), and maintain the plantings until the end of the Term (defined below).

D. The State, pursuant to a separate authorization, also intends to construct a public street within the platted 134th Avenue West right of way lying adjacent to the Site, which will eliminate the public need for the existing West 4th Street and 132nd Avenue West within the Site.

E. The State and City desire to enter into this Agreement to allow the State to enter onto the City Property to construct the Project.

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained in this Agreement, the receipt and sufficiency of which is acknowledged, the parties agree as follows:

1. THE LICENSE.

A. Subject to the terms and conditions set forth in this Agreement, City grants to the State a license to enter onto the City Property for the purpose of constructing the Project.

B. The State shall not make any alterations or improvements to the City Property, except those described in the Plans, without the prior written consent of City and then only upon the terms and conditions which may be imposed by City. The Plans shall not be modified without the prior written approval of City, which approval shall not be unreasonably withheld or delayed. Any proposed modification to the Plans shall be presented in writing to Tom Pfeffer, Senior Engineer, or his designee, who shall have the authority to approve or reject the proposed modifications to the Plans on behalf of City.

C. The State understands and acknowledges that there are deed restrictions encumbering the City Property that restrict the use of the City Property to open space in perpetuity (the "Deed Restrictions"). The Deed Restrictions are contained in those documents recorded in the Office of the St. Louis County Registrar of Titles as Document Nos. 929231 and 996231, copies of which the State acknowledges having received. The State shall comply with the Deed Restrictions.

D. Nothing in this Agreement obligates the City to maintain the Site or any improvements installed by the State during or after completion of the Project. The State shall maintain the plantings located on the City Property through the end of the Term.

E. West 4th Street and 132nd Avenue West, as shown on Exhibit B, must remain open and accessible to the public until the new portion of 134th Avenue West is constructed by the State and opened for public use. The State may not remove the existing West 4th Street or 132nd Avenue West bituminous surface until construction of 134th Avenue West is completed AND 134th Avenue West is opened for public use.

2. TERM OF THE AGREEMENT. Notwithstanding the date of execution of this Agreement, the term of this Agreement shall commence on July 1, 2020, and shall continue through December 31, 2023, unless earlier terminated (the "Term").

3. LICENSE FEE.

A. The State shall have the use of the City Property at no cost. The State shall be responsible to pay for all costs associated with its use of the City Property and for construction of the Project.

B. City, as the fee owner of the City Property, understands that it is not required to surrender possession of the City Property without just compensation and is not required to surrender lawfully occupied City-owned property without at least 90 days notice. By signing this Agreement, City waives these rights.

C. To the extent this Agreement imposes obligations on the State that require the expenditure of funds by the State, such obligations are contingent upon and subject to the Minnesota Legislature appropriating funds for such obligations. If there is no appropriation of funding for all or part of any such obligation, the State shall make a good faith effort to secure funding to cover the obligation.

4. LIMITED USE. The State may use the City Property as expressly permitted by this Agreement and for no other purpose. Any activities not approved by City's Property and Facilities Manager may be grounds for termination of this Agreement.

5. TERMINATION OR EXPIRATION.

A. For Cause. City may terminate this Agreement for the material breach by the State of any provision of this Agreement if such breach is not cured to the satisfaction of City within thirty (30) days of delivery of a written notice by City (or such longer time as specified in the notice). The notice shall identify the breach and the actions necessary to remedy the breach. Violation of the Deed Restrictions shall be deemed a material breach permitting City to terminate this Agreement pursuant to this provision.

B. Immediately. City may terminate this Agreement immediately on notice to the State if City believes in good faith that the health, welfare, or safety of occupants or neighbors of the City Property would be placed in immediate jeopardy by the continuation of this Agreement.

C. Conveyance. In the event that title to any portion of the City Property is transferred or conveyed to the State or a third party, this Agreement shall terminate as to the portion of the City Property that is transferred or conveyed, and shall continue as to the remainder, if any, of the City Property.

D. Surrender Possession. Upon termination or expiration of this Agreement for any reason, the State will surrender possession of the City Property to City and shall restore the City Property to substantially the same condition as at the time the State took possession of the City Property or as stated in the Plans. The State shall reimburse City upon demand the reasonable costs incurred by City to repair any damage done to the

City Property by the State, its employees, servants, agents, contractors, invitees, and licensees.

6. CITY WARRANTY. City makes no representation that the City Property is suitable for any particular purpose or specific use and the State accepts the City Property in “as is” condition without representations or warranties of any kind.

7. ADDITIONAL AUTHORIZATION. The State acknowledges that (i) this Agreement only provides a license to use the City Property to complete its Project; and (ii) it is responsible to obtain written permission from all other owners claiming a right, title, or interest in the real property affected by the Project. The State shall obtain the proper permits, licenses, or other permissions needed from various local, state, and/or federal agencies and other third parties to complete the Project.

8. HOLD HARMLESS. City and the State shall each be responsible for their own acts and the results thereof and shall not be responsible for the acts of the other party. The State’s liability shall be governed by the provisions of the Minnesota Tort Claims Act, Minnesota Statutes, Chapter §3.736 and other applicable law. The City’s liability shall be governed by the provisions of Minnesota Statutes Chapter 466 and other applicable law.

9. INSURANCE. During the Term, the State shall either (i) have such insurance coverage as will protect the State and City against risk of loss or damage to the City Property and any other property of City located or used at the City Property by the State and against claims which may arise or result from the use of the City Property by the State during the Term, or (ii) retain the risk of loss through self-insurance. Automobile and Public Liability Insurance policies shall be written on an “occurrence” basis under a Comprehensive General Liability Form in limits of not less than \$1,500,000 aggregate per occurrence for personal bodily injury and death and limits of not less than \$1,500,000 for property damage liability. Insurance policies required by this Agreement shall be taken out and maintained in responsible insurance companies organized under the laws of the state of Minnesota and licensed to do business in Minnesota (or through a program of self-insurance). Insurance shall cover public liability including premises and operations coverage, independent contractors - protective contingent liability, personal injury, contractual liability covering the obligations set forth herein, and products – completed operations. The State shall provide City with Certificate(s) of Insurance or self-insurance letter(s) evidencing the required insurance coverage, with 30-day notice of cancellation, non-renewal, or material change provisions included. City does not represent or guarantee that the types or limits of coverage required by this Agreement are adequate to protect the State’s interests and liabilities. The required insurance policies and certificates shall be in form acceptable to the City Attorney and shall name City as an additional insured. City reserves the right to require the State to increase the coverages set forth above and to provide evidence of such increased insurance to reflect the municipal liability limits set forth in Minn. Stat. § 466.04, as amended from time to time, unless the municipal liability limits exceed the limits set forth in Minn. Stat. § 3.736, subd. 4.

10. INDEPENDENT CONTRACTOR. Nothing contained in this Agreement is intended or should be construed in any manner as creating or establishing the relationship of co-partners between the parties or as constituting the State or the State's personnel as an agent, representative, or employee of City for any purpose or in any manner whatsoever. The State and its employees shall not be considered employees of City and any and all claims that may or might arise under the Workers' Compensation Act of the State of Minnesota on behalf of the State's employees or agents while so engaged, shall in no way be the responsibility of City.

11. ASSIGNMENT. The State shall not in any way assign or transfer its rights or interests under this Agreement.

12. LAWS, RULES AND REGULATIONS.

A. The State shall conduct its activities related to the City Property in strict compliance with the United States Constitution and with all applicable laws, rules, and regulations. The State shall not unlawfully discriminate and shall comply with all applicable federal and state laws regarding non-discrimination.

B. The State shall procure, at the State's expense, all licenses and permits necessary for carrying out its obligations under this Agreement and completing the Study.

13. RECORDS RETENTION. The State shall maintain all books, records, documents, and other evidence pertaining to this Agreement for six (6) years after termination or expiration of this Agreement for any reason.

14. DATA PRACTICES. City and the State shall comply with the Minnesota Data Practices Act, Minn. Stat. Chapter 13, as it applies to all data relating to this Agreement.

15. WAIVER. The waiver by City or the State of any breach of any term, covenant, or condition of this Agreement shall not be deemed to be a waiver of any subsequent breach of same or any other term, covenant, or condition in this Agreement.

16. SEVERABILITY. If any term or provision of this Agreement is declared by a court of competent jurisdiction to be illegal or in conflict with any law, then the validity of the remaining terms and provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if this Agreement did not contain the particular term or provision held to be invalid.

17. NO THIRD PARTY RIGHTS. This Agreement is to be construed and understood solely as an agreement between the State and City regarding the subject matter herein and shall not be deemed to create any rights in any other person or on any other matter. No person shall have the right to make a claim that they are a third party

beneficiary of this Agreement or of any of the terms and conditions hereof, which may be waived at any time by mutual agreement between the parties.

18. NOTICES. Notices provided pursuant to this Agreement shall be sufficient if sent by regular United States mail, postage prepaid, addressed to:

Minnesota Department of Transportation
Attn: John Hinzmann
1123 Mesaba Avenue
Duluth, MN 55811
(218) 725-2760

City of Duluth
Attn: Property and Facilities Manager
1532 W. Michigan Street
Duluth, Minnesota, 55806
(218) 730-4430

or to such other persons or addresses as the parties may designate to each other in writing from time to time.

19. COMPLIANCE WITH AGREEMENT. The right of the State to use the City Property is subject to the State's compliance with the undertakings, provisions, covenants, and conditions set forth in this Agreement.

20. APPLICABLE LAW. This Agreement, together with all of its paragraphs, terms, and provisions, is made in the state of Minnesota and shall be construed and interpreted in accordance with the laws of the state of Minnesota.

21. AMENDMENTS. Any amendments to this Agreement shall be in writing and shall be executed in the same manner as this Agreement.

22. AUTHORITY TO EXECUTE AGREEMENT. The parties represent to each other that the execution of this Agreement has been duly and fully authorized by their respective governing bodies or boards, that the individuals who executed this Agreement on their behalf are fully authorized to do so, and that this Agreement when thus executed by said individuals will constitute and be the binding obligation and agreement of the parties in accordance with the terms and conditions of this Agreement.

23. ENTIRE AGREEMENT. This Agreement, including exhibits, constitutes the entire agreement between the parties and supersedes all prior written and oral agreements and negotiations between the parties relating to the subject matter hereof. This Agreement may be executed and delivered by a party by facsimile or PDF transmission, which transmission copy shall be considered an original and shall be binding and enforceable against such party.

24. RECORDING. Neither party shall record this Agreement in the St. Louis County real estate records without the prior written permission of the other party.

[Remainder of this page is intentionally left blank.]

IN WITNESS WHEREOF, the parties have set their hands the day and date as indicated below.

CITY OF DULUTH, MINNESOTA

THE STATE OF MINNESOTA, acting
through its Commissioner of Transportation

By: _____
Mayor

By: _____

Its: _____

ATTEST:

Printed Name: _____

City Clerk

Dated: _____

Dated: _____

COUNTERSIGNED:

City Auditor

APPROVED AS TO FORM:

City Attorney

EXHIBIT A

North 52 feet of Lots 41, 43, 45 and 47 on Glass Street (formerly Fourth Street),
FOND DU LAC

and

Those portions of Lots 49 and 51 on said Glass Street lying North of a straight line extending from a point in the West line of said Lot 49 distant 52 feet South, measured along said West line from the Northwest corner thereof, to a point in the East line of said Lot 51, distant 38.1 feet South measured along the East line of said Lot 51, from the northeast corner thereof, all in FOND DU LAC.

CITY OF DULUTH, THAT PART OF LOTS 21 THRU 39 ODD NO LOTS LYING 20 FT NLY AND 20 FT SLY OF A
LINE BEG AT A PT ON THE W LINE OF LOT 21 13.56 FT S OF THE NW COR OF LOT 21 THENCE TO A PT
54.83 FT S OF THE NE COR ALONG THE E LINE OF LOT 39 & THE SLY 46 FT OF THE NLY 98 FT OF LOTS 41
43 45 & THAT PART OF LOTS 47 THRU 57 ODD NO LOTS DESCRIBED AS BEG AT A PT ON W LINE OF LOT 47
52 FT S OF NW COR OF LOT 47 THENCE ELY 40 FT TO A PT ON E LINE OF LOT 47 52 FT S OF THE NE COR
OF LOT 47 THENCE NELY 81.22 FT TO A PT ON E LINE OF LOT 51 38.1 FT S OF NE COR OF LOT 51 THENCE
N 17.3 FT TO A PT ON E LINE OF LOT 51 20.8 FT S OF THE NE COR OF LOT 51 THENCE NELY 82.68 FT TO
NW COR OF LOT 57 THENCE E 40 FT TO NE COR OF LOT 57 THENCE S 64.1 FT ALONG E LINE OF LOT 57
THENCE SWLY 242.22 FT TO A PT ON W LINE OF LOT 47 98 FT S OF THE NW COR OF LOT 47 THENCE N 46
FT ALONG W LINE OF LOT 47 TO PT OF BEG & LOT 59, FOND DU LAC FOURTH STREET DULUTH.

10-1620-291

excepting and reserving to the said state, in trust for taxing districts concerned, all minerals and mineral rights, as provided by law.



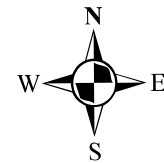
Printed Date: 5/6/2020

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

The City of Duluth requires that this map/data not be redistributed to any party in whole or in part, including any derivative works of products generated by combining the data with other data, unless authorized by the City of Duluth GIS office.

EXHIBIT B

 City Property



0 137.5 275 Feet



MINNESOTA DEPARTMENT OF TRANSPORTATION

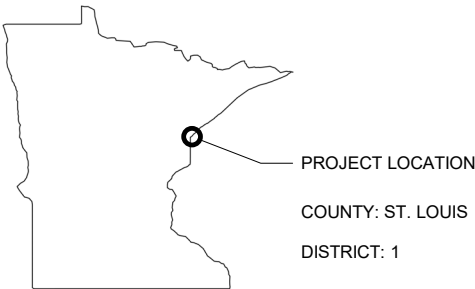
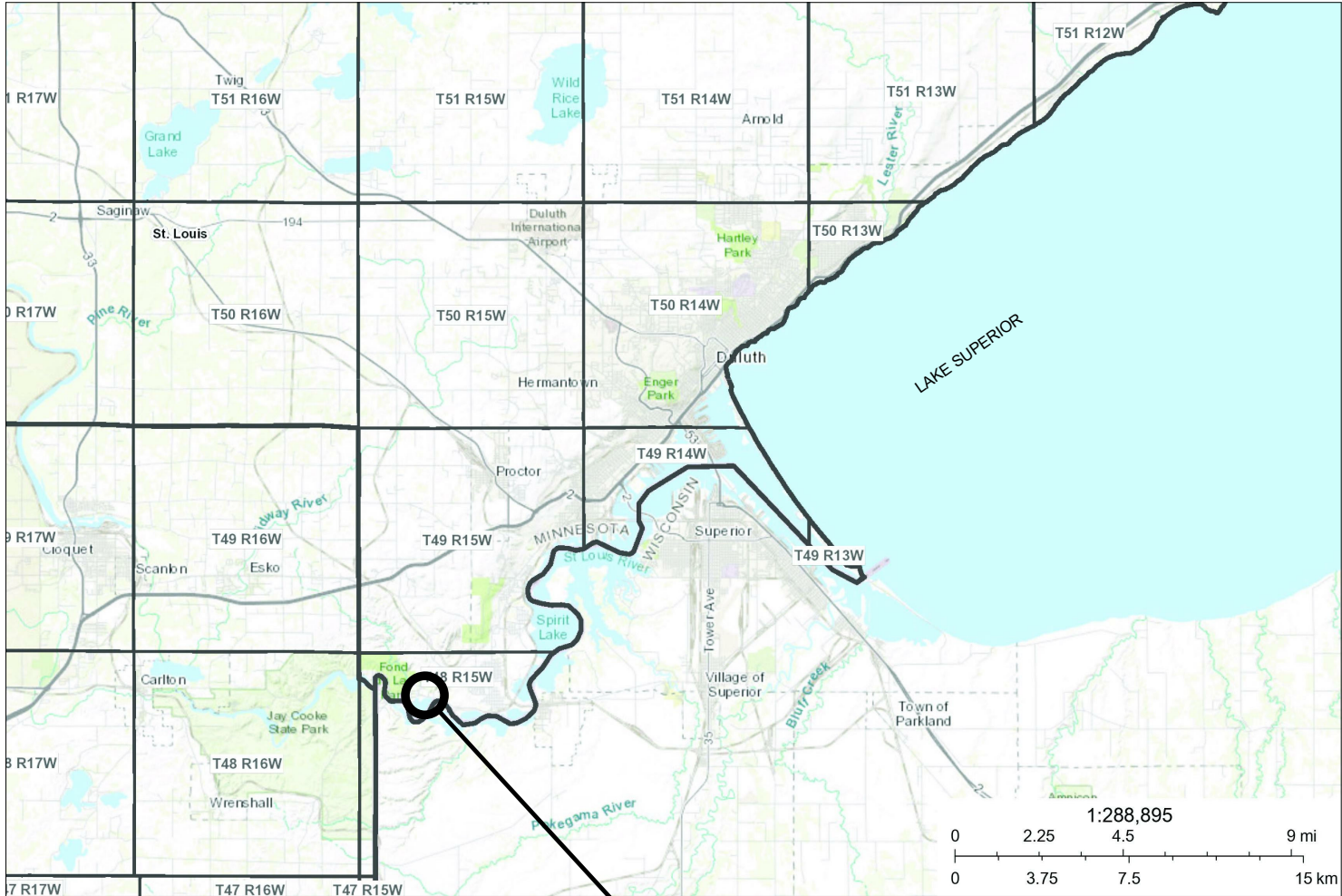
MISSION CREEK CEMETERY

CONSTRUCTION PLAN FOR GRADING, DRAINAGE, AND LANDSCAPE

PROJECT DESCRIPTION: MN 23 FROM JCT MN 210 TO MISSION CREEK. MISSION CREEK CEMETERY LANDSCAPING.(TIED 6910-106)

PROJECT TERMINI: Ref. Pt. 335+00.955 to Ref. Pt. 336+00.167 (0.21 MI.)

STATE PROJECT NUMBER 6910-107



SHEET LIST

SHEET NUMBER	SHEET NAME
L1	TITLE PAGE
L2	GENERAL NOTES
L3	GENERAL NOTES
L4	STATEMENT OF ESTIMATED QUANTITIES
L5	OVERALL LAYOUT PLAN
L6	NPDES/SWPPP PLAN 1/2
L7	NPDES/SWPPP PLAN 2/2
L8	ORDER OF OPERATIONS
L9	EXISTING CONDITIONS ZONE A
L10	EXISTING CONDITIONS ZONE B
L11	EXISTING CONDITIONS ZONE C
L12	SITE PROTECTION PLAN ZONE A
L13	SITE PROTECTION PLAN ZONE B
L14	SITE PROTECTION PLAN ZONE C
L15	TEMPORARY EROSION CONTROL ZONE A
L16	TEMPORARY EROSION CONTROL ZONE B
L17	TEMPORARY EROSION CONTROL ZONE C
L18	DEMOLITION PLAN ZONE A
L19	DEMOLITION PLAN ZONE B
L20	DEMOLITION PLAN ZONE C
L21	EXISTING/ROUGH GRADING PLAN ZONE A
L22	EXISTING/ROUGH GRADING PLAN ZONE B
L23	EXISTING/ROUGH GRADING PLAN ZONE C
L24	SOILS PLAN ZONE A
L25	SOILS PLAN ZONE B
L26	SOILS PLAN ZONE C
L27	FINAL GRADING ZONE A
L28	FINAL GRADING ZONE B
L29	FINAL GRADING ZONE C
L30	SEEDING ZONE A
L31	SEEDING ZONE B
L32	SEEDING ZONE C
L33	PLANTING PLAN - TREES/SHRUBS - ZONE A
L34	PLANTING PLAN - TREES/SHRUBS - ZONE B
L35	PLANTING PLAN - TREES/SHRUBS - ZONE C
L36	PATHWAY AND SPACES ZONE A
L37	PATHWAYS AND SPACES ZONE B
L38	PATHWAY AND SPACES ZONE C
L39	WETLANDS/HYDROLOGY ZONE A
L40	WETLANDS/HYDROLOGY ZONE B
L41	WETLANDS/HYDROLOGY ZONE C
L42	WALL PLAN ZONE A
L43	WALL PLAN ZONE B
L44	WALL PLAN ZONE C
L45	PERMANENT EROSION CONTROL ZONE A
L46	PERMANENT EROSION CONTROL ZONE B
L47	PERMANENT EROSION CONROL ZONE C
L48	ENLARGEMENTS
L49	ENLARGEMENTS
L50	ENLARGEMENTS
L51	ENLARGEMENTS
L52	SECTIONS
L53	SECTIONS
L54	SECTIONS
L55	SECTIONS
L56	SECTIONS
L57	SECTIONS
L58	SECTIONS
L59	SECTIONS
L60	ELEVATIONS
L61	ELEVATIONS
L62	ELEVATIONS
L63	ELEVATIONS
L64	DETAILS
L65	DETAILS
L66	DETAILS
L67	DETAILS
L68	DETAILS

RECOMMENDED FOR APPROVAL:_____20____

FOR DISTRICT TRANSPORTATION ENGINEER

RECOMMENDED FOR APPROVAL:_____20____

FOR DISTRICT MATERIALS ENGINEER

RECOMMENDED FOR APPROVAL:_____20____

FOR DISTRICT WATER RESOURCES/HYDRAULICS ENGINEER

RECOMMENDED FOR APPROVAL:_____20____

FOR DISTRICT TRAFFIC ENGINEER

RECOMMENDED FOR APPROVAL:_____20____

FOR STATE PRE-LETTING ENGINEER

OFFICE OF LAND MANAGEMENT APPROVAL:_____20____

DIRECTOR, LAND MANAGEMENT

APPROVED_____20____

STATE DESIGN ENGINEER

GOVERNING SPECIFICATIONS

THE 2019 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

DRAWN BY: RLH

CHECKED BY: SWG

I HEREBY CERTIFY THAT THIS SHEET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE:_____

PRINTED NAME:_____

DATE: 03/23/20

LIC. NO. #####

URBAN ECOSYSTEMS
LANDSCAPE ARCHITECTS

2500 UNIVERSITY AVE. W #C8
ST. PAUL, MN 55114 | 651.340.8568



GENERAL NOTES

EXISTING CONDITIONS:

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

SITE PROTECTION

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

TEMP AND PERMANENT EROSION

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

DEMOLITION

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

GRADING

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

SOILS:

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

SEEDING:

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

TREE AND SHRUB PLANTING

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

GENERAL NOTES

STREAM CONSTRUCTION:

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

AREA FOR MORE NOTES:

EXISTING WETLANDS

- 1.
- 2.
- 3.
- 4
- 5.
- 6.
- 7.
- 8.
- 9.

PROPOSED WETLAND

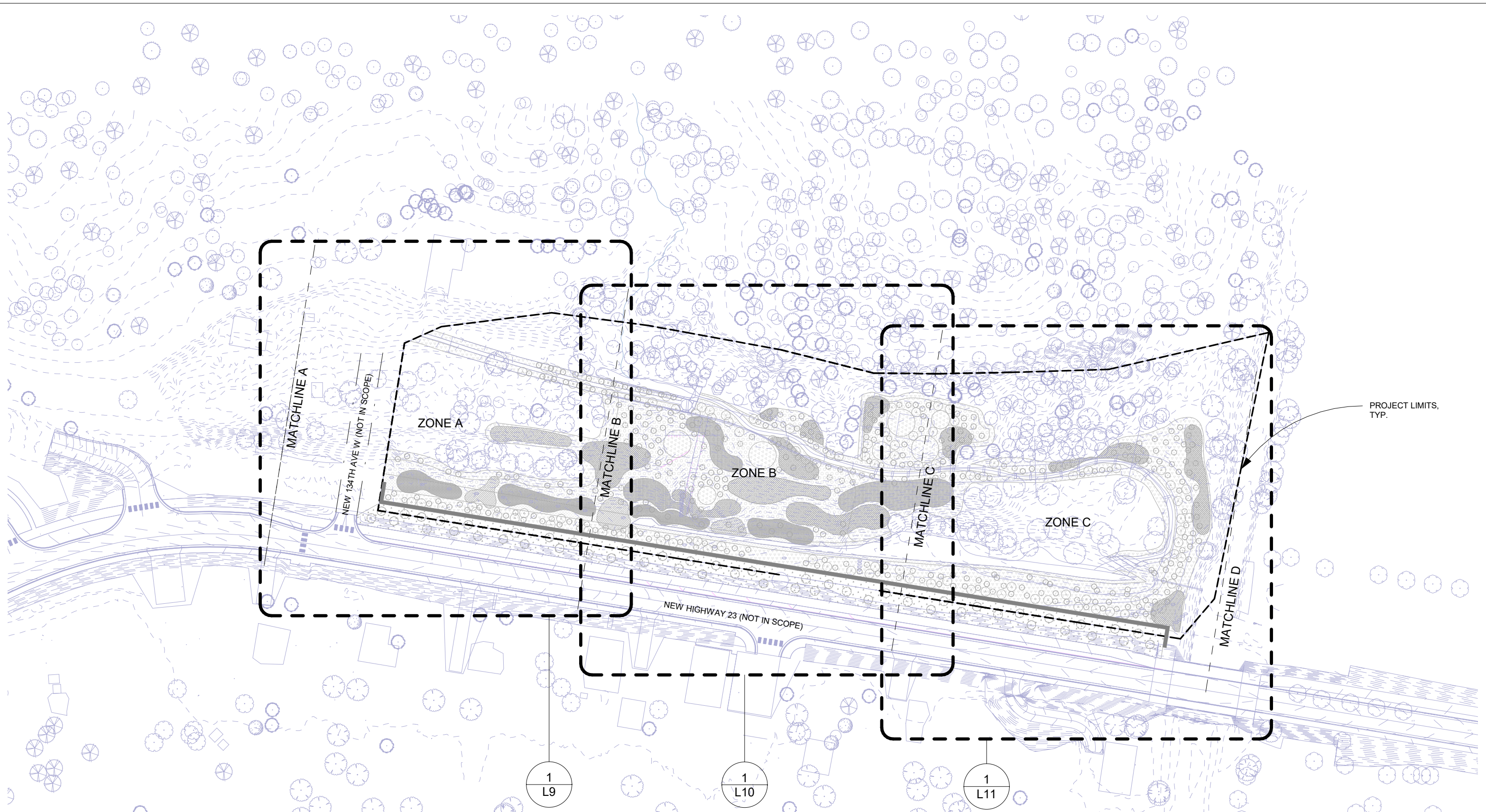
- 1.
- 2.
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- 4
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- 8.
- 9.

DEMOLITION

- 1.
- 2.
- 3.
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- 7.
- 8.
- 9.

GRADING

- 1.
- 2.
- 3.
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- 7.
- 8.
- 9.



1 OVERALL PLAN
1" = 100'-0"

PROJECT SWPPP

This project will include the rough grading, import and placement of planting soil, and seeding/planting within the MnDOT Right of Way. The project will incorporate aesthetic elements such as a stone wall, interpretive space and natural water feature.

PROJECT WATERBODIES

The following water bodies are located within one mile of the project limits and receive runoff from the project site. If any of the water bodies are special or impaired waters, the BMPs described in Section 23 of the NPDES permit will apply to all areas of the site.

NAME	TYPE	SPECIAL?	IMPAIRED?
Mission Creek	Stream	Stream	No
St. Louis River	River	River	No

LAND FEATURE CHANGES

Total disturbed area: Click here to enter text. acres
Total proposed impervious surface area: Click here to enter text.acres
Total proposed net change in impervious surface area:Click here to enter text. acres.

ENVIRONMENTAL REVIEW

All mitigation measures have been addressed in this plan set or the special provisions or the previous project. This project is not located in a well head protection area.

PROJECT CONTACTS

The project engineer and contractor are responsible for implementation of the SWPPP and installation, inspection, and maintenance of the erosion prevention and sediment control BMPs before, during and after construction until the Notice of Termination (NOT) has been submitted with the Minnesota Pollution Control Agency (MPCA).

ORGANIZATION	CONTACT NAME	PHONE	PERMIT #
MnDOT PROJECT MANAGER	RANDY COSTLEY	218-725-2747	N/A
CERTIFIED SWPPP DESIGNER	REBECCA NESTINGEN	612-710-8041	N/A
CONTRACTOR, EROSION CONTROL SUPERVISOR	TBD	TBD	N/A
MnDOT OFFICE, ENVIRONMENTAL STEWARSHIP	KEN GRAEVE	651-366-3613	N/A
MN DEPARTMENT OF NATURAL RESOURCES	PETER LEETE	651-366-3634	N/A
CO DISTRICT 1 TECHNICAL SUPPORT	DWAYNE STENLUND	612-810-9409	N/A
MINNESOTA STATE ARCHEOLOGIST	AMANDA GRONHOVD	651-201-2263	N/A
			N/A

MPCA 24 HOUR EMERGENCY NOTIFICATION: 651-649-5451 TOLL FREE: 800-422-0798

EROSION CONTROL SUPERVISOR

Provide an Erosion Control Supervisor in accordance with spec. 2573.3 A.1. Provide proof of certification at the preconstruction meeting. The Erosion Control Supervisor duties are incidental. Erosion and Sediment Control Installers need at least one certified installer on site as per specification 2573.3.A.2 The Erosion Control Supervisor is authorized to install, fix, or repair erosion or sediment control practices when a certified installer is unavailable (2573.3 A).

The Erosion Control Supervisor will work with the project Engineer to oversee the implementation of the SWPPP and the installation, inspection, and maintenance and repair of the erosion prevention and sediment control BMPs before, during and after construction until the NOT(Notice of Termination) has been filed with the MPCA.

The Erosion Control Supervisor is responsible for complying with all the inspection and maintenance and corrective action requirements stated in the NPDES permit, including the following: Inspect the entire construction site once a week during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. Inspections can be reduced to once a month as per NPDES 11.10a once planting, restoration and permanent stabilization are complete and prior to the NOT. Record all inspections, including maintenance and corrective actions, in writing within 24 hours. Submit inspection reports and SWPPP amendments to the project Engineer in a format acceptable to the project Engineer. Records of each inspection and maintenance activity shall meet specification 1717.2.A and the NPDES permit Item 11.11.

SITE MANAGEMENT PLAN

At the preconstruction meeting and prior to beginning work, submit a site management plan (per MnDOT Spec 1717.2C) showing location and timing of staging areas, vehicle access routes, vehicle exits, stockpiles, any work near surface water, any areas that are to be avoided, and any erosion prevention and sediment control BMPs. Include timing of BMP installations, timing of work, and any pollution prevention practices. Allow a minimum of 7 days for the project Engineer to review and accept this submittal.

EROSION AND SEDIMENT CONTROL

Install sediment control BMPs at the downgradient perimeter of soil that will be disturbed and stockpiles prior to starting any ground disturbing activities. Maintain, correct, or upgrade BMPs by the end of the next business day whenever they are discovered to be nonfunctional or at least half full of sediment or debris. Continue maintenance until soil is permanently stabilized.

Install inlet protection as needed on all inlets receiving runoff from disturbed soil, 2573.3.M, 2573.P.3, 2573.K.2 and NPDES 9.7. Maintain these by the end of the next business day whenever they are discovered to be nonfunctional or at least half full of sediment or debris. Continue maintenance until soil is permanently stabilized. Place perimeter control as shown in the plans and downgradient of stockpiles.

Install vehicle exits as necessary to prevent tracking of sediment onto impervious surfaces. Maintain these by the end of the next business day whenever they are discovered to be nonfunctional. Sweep tracked sediment from paved surfaces at the end of each day or sooner if the sediment poses a safety risk (1717.2, 2573.3.K and NPDES 9.11, 9.12). Amend the SWPPP to show vehicle exits once their locations are determined.

Woodchips may be used for perimeter control, erosion prevention, and vehicle exits. Propose other BMPs as needed following Unit Prices under Special Provisions 2573, 2574, & 2575. Amend the SWPPP to show the locations and types of any BMPs that are used.

Stabilize all exposed soil including tree holes and stockpiles within 7 days once work is temporarily or permanently stopped (and prior to the onset of winter) in that area of the project (1717.2, NPDES sec. 8.4).

Prevent soil compaction or de-compact soils prior to restoration. Restore exposed soils to vegetated state at the completion of work (2571.3 J).

LOCATION OF SWPPP REQUIRMENTS

PROJECT LOCATION DETAILS	TITLE SHEET
TEMPORARY EROSION AND SEDIMENT CONTROL	SHEET NO. ###
AREAS NOT TO BE DISTURBED	SHEET NO. ###
DIRECTION OF WATER FLOW, FLOWS TO SURFACE WATERS	SHEET NO. ###
STABILIZATION AND RESTORATION REQUIREMENTS	SHEET NO. ###
EROSION AND SEDIMENT CONTROL DETAILS	SHEET NO. ###

Soils maps are on file at the OES Landscape Office.

POLLUTION PREVENTION

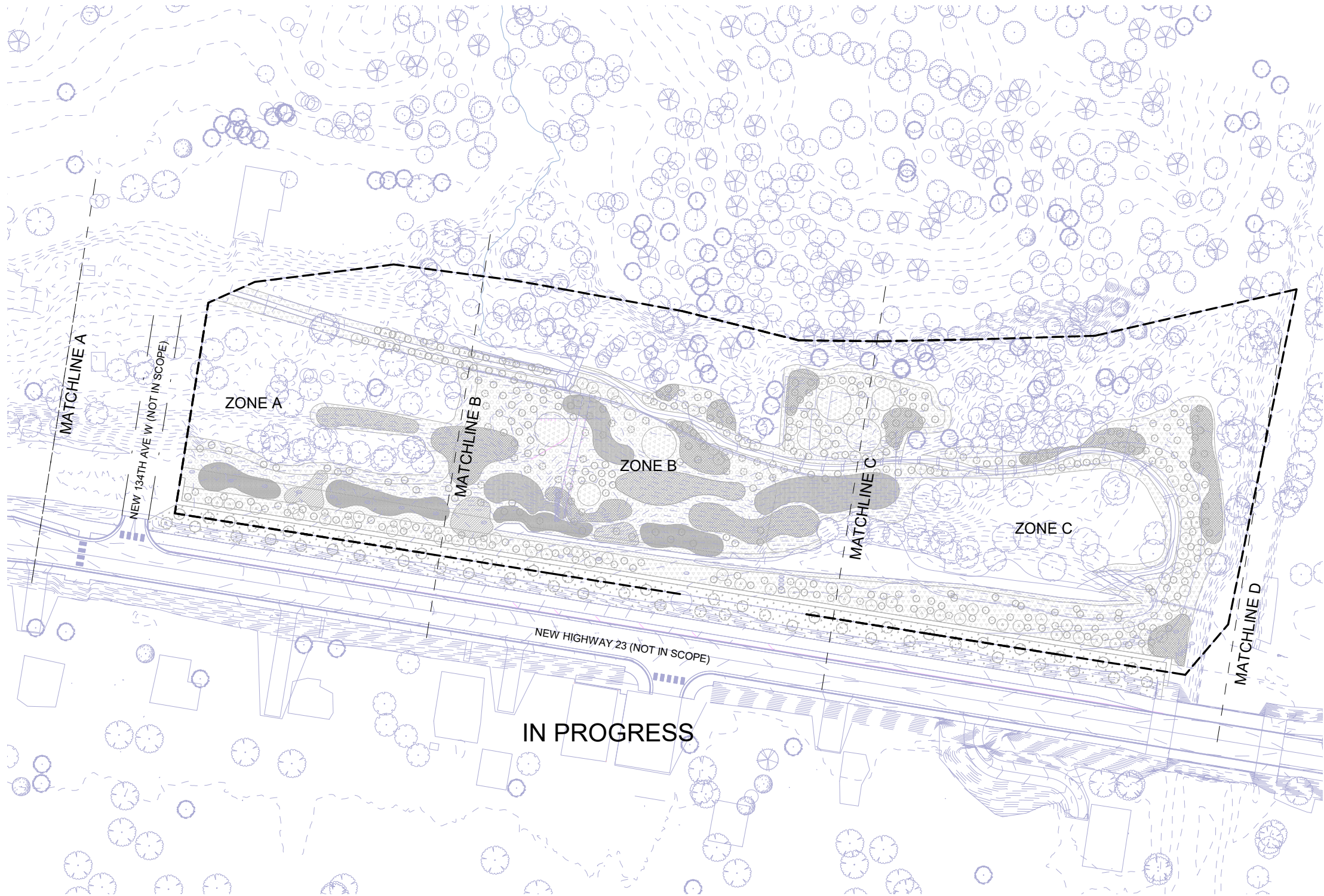
Keep spill kits on site at all times and clean up spills immediately.
Collect and dispose of all solid waste including, but not limited to, collected sediment, floating debris, paper, plastic, fabric, construction and demolition debris, trash, and other wastes.
Fuel and maintain vehicles and equipment in a designated area whenever feasible. Use drip pans or absorbent materials to catch spills and leaks.
Store all liquid chemicals under cover and with secondary containment, and properly dispose of any unused or spilled liquid waste.
Store and dispose of hazardous waste in compliance with MPCA regulations.

Notice of Termination (NOT) requires that:

- a. Soil disturbing activities at the site have been completed.
- b. Soils have been restored by a uniform perennial cover with a density of 70% or other equivalent means to prevent soil erosive conditions.
- c. Remove sediment from the stormwater conveyance system.
- d. All temporary synthetic and structural erosion prevention and sediment control BMPs have been removed.

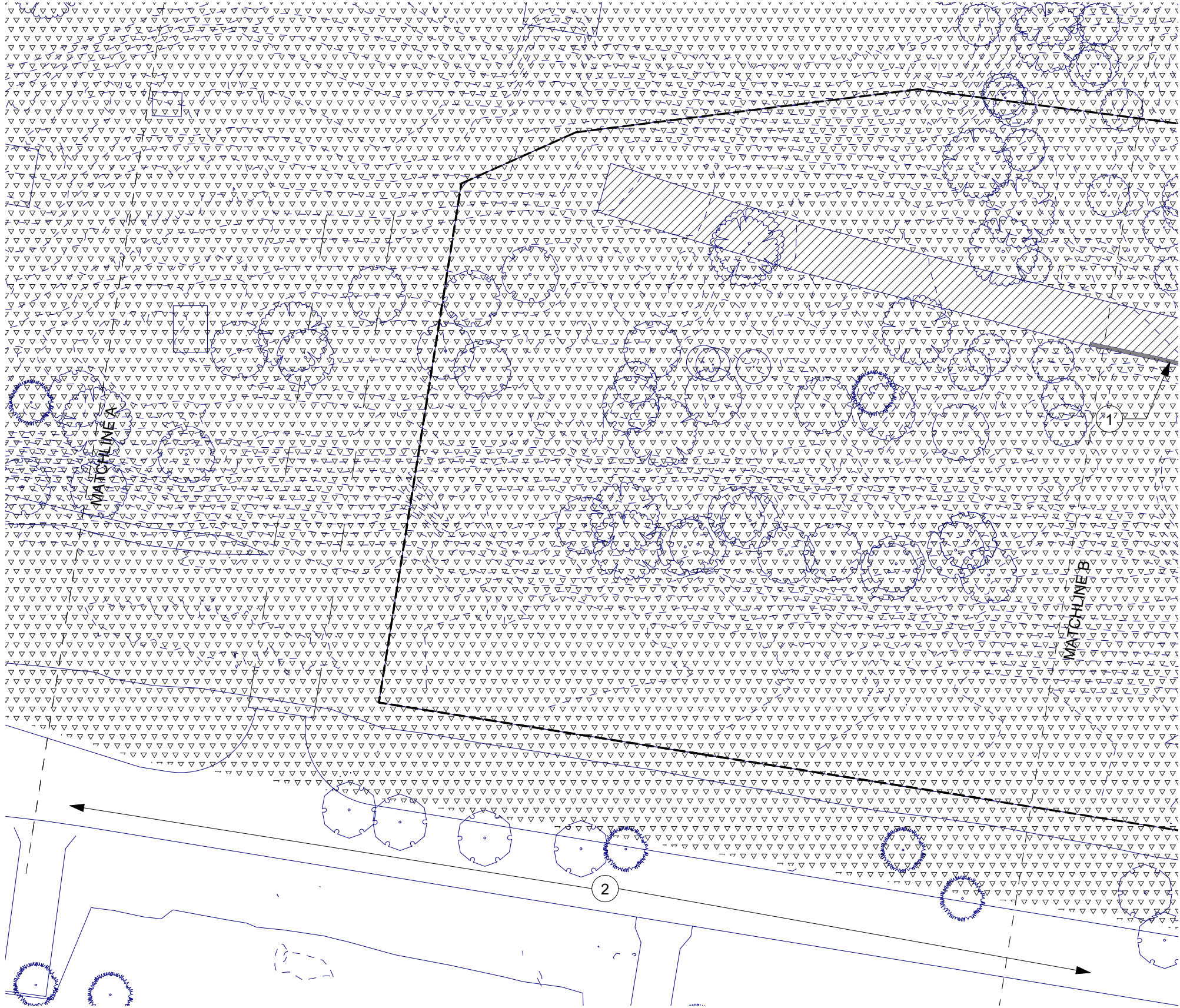
Submit the completed NOT form to the MnDOT District Construction Office for final submittal to MPCA. The NOT form can be found on the MPCA Construction Stormwater webpage.

IN PROGRESS - NPDES



- Task Order for Mission Creek Cemetery**
What follows is the recommended task order for Construction
- 134th Street Access and Staging Area Prep
 - Erosion / Perimeter Control
 - Staging Areas, Traffic Access, and Security
 - 134th Street – Existing House Connection Completed
 - 4th Street Demolition and Swale Construction
 - Swale Diversion Berm Construction
 - 4th Street Demolition (Bituminous Surface Removal)
 - Swale Construction
 - Clay Base and Berm
 - Boulder Placement
 - Aggregate Layers + Channel Construction
 - Tree Placement
 - Topsoil Deposited
 - Erosion Control Blanket
 - Seeding
 - Water Space and Woodland Walk Construction
 - Culvert Removal, and Diversion into Swale
 - Water Space + Woodland Path Grading & Construction
 - Aggregate Layers
 - Tree Installation
 - Topsoil Deposited
 - Erosion Control Blanket
 - Seeding
 - Central Cemetery Area Final Grading
 - Surface Filling (Sandy Clay Loam Fill)
 - Drainage Course
 - Rock Vanes
 - Woody Plant Debris
 - Tree Installation
 - Topsoil Deposited
 - Erosion Control Blanket
 - Seeding
 - Swale and Wall Slope Grading
 - Surface Filling (Sandy Clay Loam Fill)
 - Channel Construction
 - Wall Footer Construction
 - Tree Installation
 - Topsoil Deposited
 - Erosion Control Blanket
 - Seeding
 - Wall Construction
 - End Piece Placement
 - Segment Construction Review and Approval
 - Monument Stone Placement
 - Site Finishing

1 ORDER OF OPERATIONS DIAGRAM
1" = 100'-0"



EXISTING CONDITIONS LEGEND

EXISTING ASPHALT ROAD (BURIAL SOILS BELOW)

EXISTING FORMER BUILDING PAD (BURIAL SOILS BELOW)

EXISTING BURIAL SOILS

EXISTING RIP-RAP EDGE (BURIAL SOILS BELOW)

EXISTING JERSEY BARRIER WITH FENCE

LIMIT OF WORK

EXISTING TREES

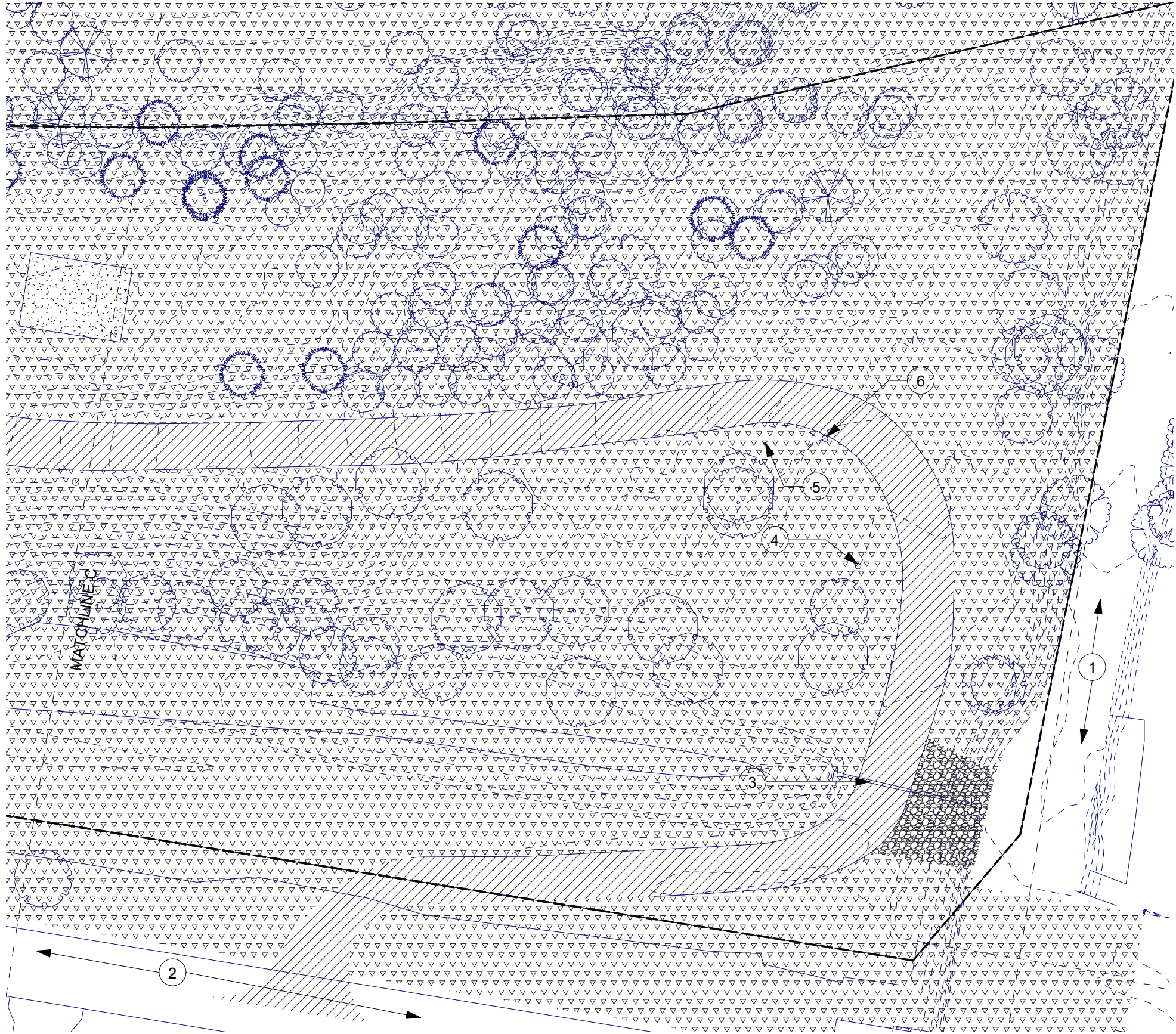
Existing Jersey Barrier - MnDOT owned

Future Road Grade - MnDOT owned

1

ENLARGED PLAN ZONE A - EXISTING CONDITIONS

1" = 40'-0"



EXISTING CONDITIONS LEGEND

- EXISTING ASPHALT ROAD (BURIAL SOILS BELOW)
- EXISTING FORMER BUILDING PAD (BURIAL SOILS BELOW)
- EXISTING BURIAL SOILS
- EXISTING RIP-RAP EDGE (BURIAL SOILS BELOW)
- EXISTING JERSEY BARRIER WITH FENCE
- LIMIT OF WORK
- EXISTING TREES

- 1 Mission Creek
- 2 Existing Road Grade - MnDOT owned
- 3 Existing Culvert - MnDOT governed
- 4 Existing Power Pole - MnDOT governed
- 5 Existing Street Sign - MnDOT governed
- 6 Existing Hydrant Stub - MnDOT governed

1 ENLARGED PLAN ZONE C - EXISTING CONDITIONS
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker
I HEREBY CERTIFY THAT THIS SHEET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

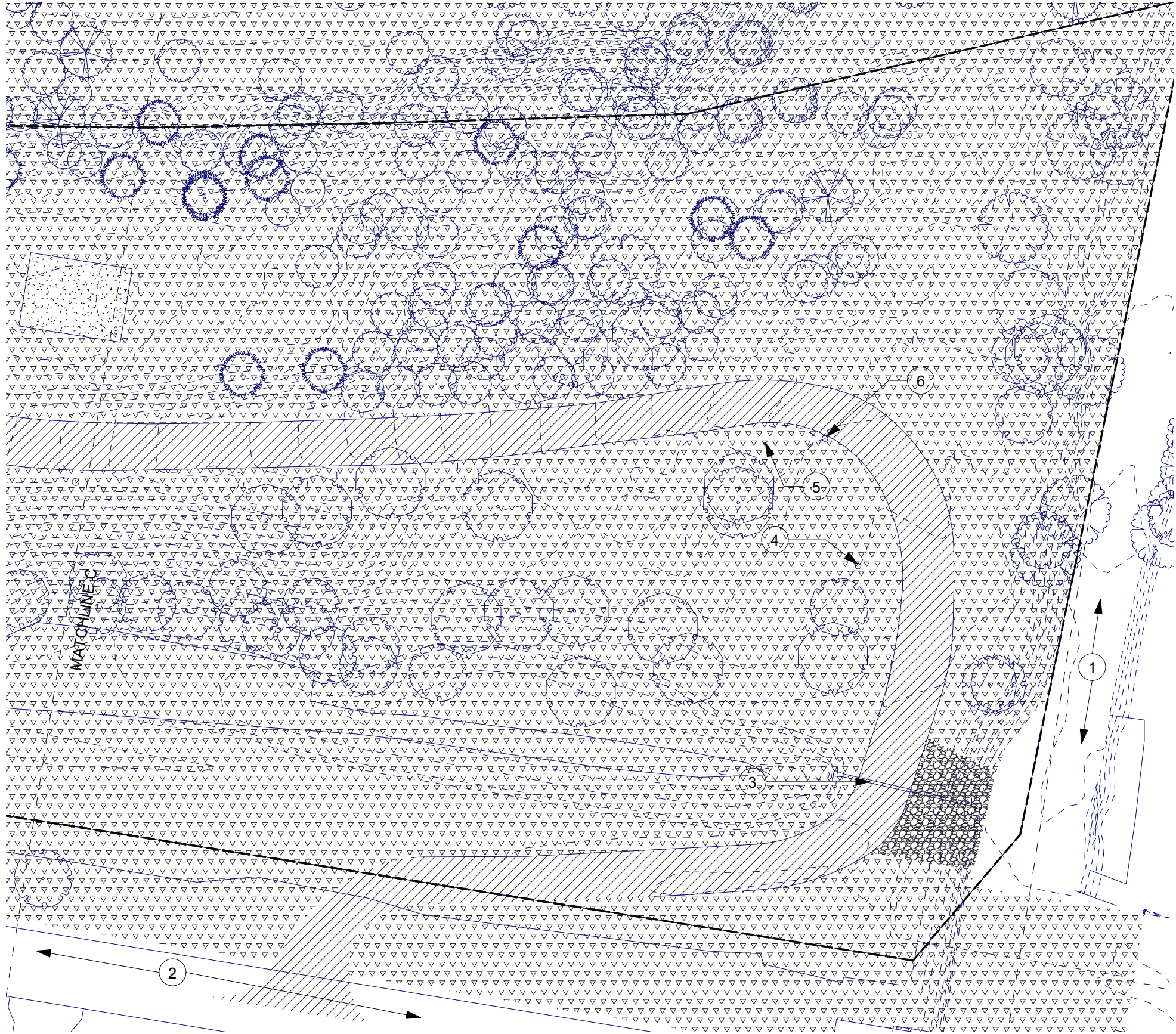
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PRINTED NAME: _____
DATE: 03/23/20
LIC. NO. #####

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MISSION CREEK CEMETERY
EXISTING CONDITIONS ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L11 of LXX Sheets



EXISTING CONDITIONS LEGEND

- EXISTING ASPHALT ROAD (BURIAL SOILS BELOW)
- EXISTING FORMER BUILDING PAD (BURIAL SOILS BELOW)
- EXISTING BURIAL SOILS
- EXISTING RIP-RAP EDGE (BURIAL SOILS BELOW)
- EXISTING JERSEY BARRIER WITH FENCE
- LIMIT OF WORK
- EXISTING TREES

- 1 Mission Creek
- 2 Existing Road Grade - MnDOT owned
- 3 Existing Culvert - MnDOT governed
- 4 Existing Power Pole - MnDOT governed
- 5 Existing Street Sign - MnDOT governed
- 6 Existing Hydrant Stub - MnDOT governed

1 ENLARGED PLAN ZONE C - EXISTING CONDITIONS
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker

I HEREBY CERTIFY THAT THIS SHEET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

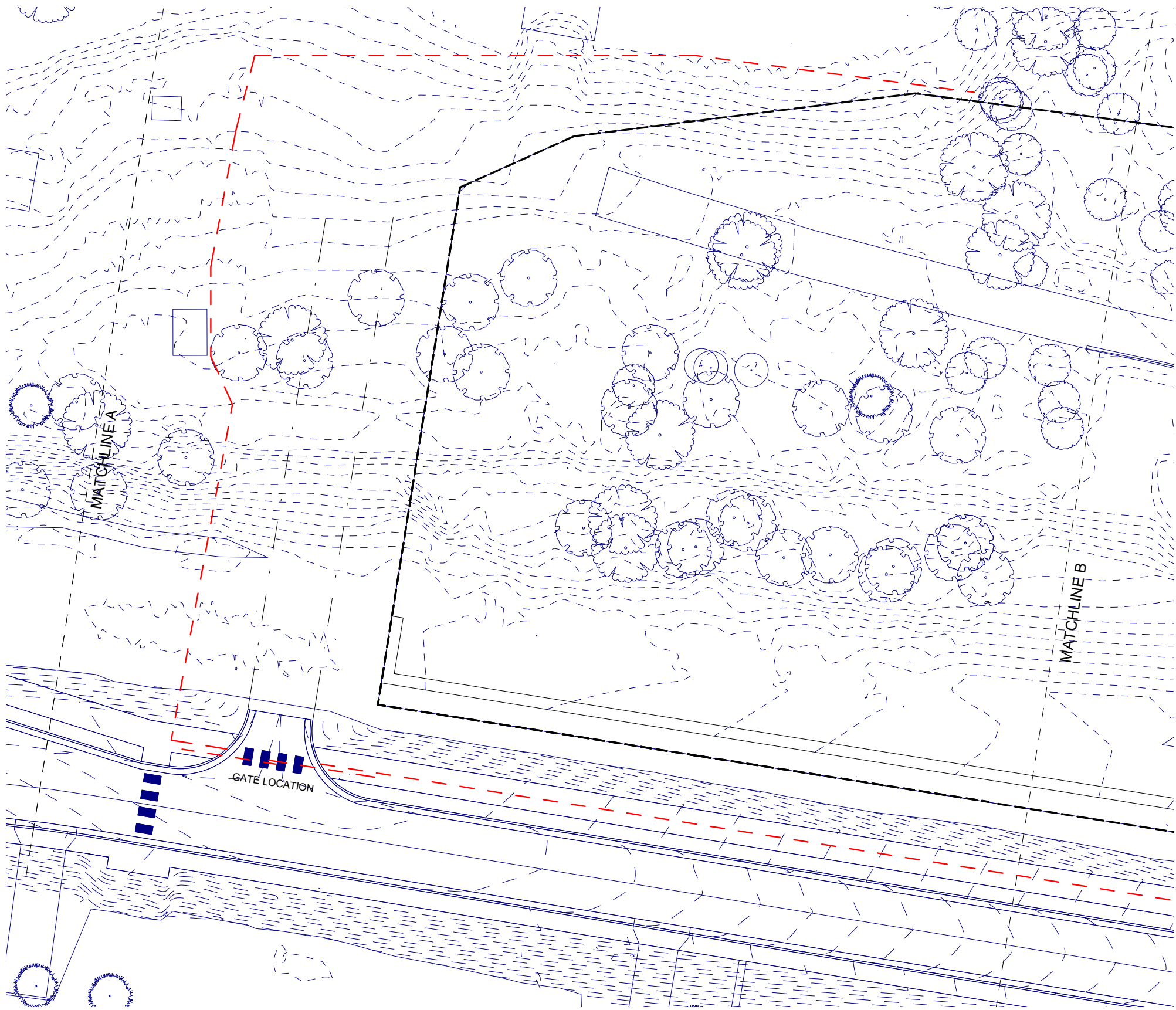
SIGNATURE: _____
PRINTED NAME: _____
DATE: 03/23/20
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MISSION CREEK CEMETERY
EXISTING CONDITIONS ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L11 of LXX Sheets



SITE PROTECTION LEGEND

--- PROTECTIVE FENCE - MnDOT GOVERNED

- NOTES:
1. SITE PROTECTION TO BE COORDINATED WITH MnDOT, LANDSCAPE ARCHITECT, AND CONTRACTOR PRIOR TO CONSTRUCTION.
 2. SITE PROTECTION PHASING PHASING WILL OCCUR OVER THE COURSE OF THE PROJECT.
 3. FENCING SHALL BE HELD IN PLACE WITH STANCHIONS AND SAND BAGS. PENETRATION OF THE EXISTING GRADE IS STRICTLY PROHIBITED UNLESS WRITTEN CONSENT BY LANDSCAPE ARCHITECT IS GIVEN.

1 ENLARGED PLAN ZONE A - SITE PROTECTION PLAN
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker
I HEREBY CERTIFY THAT THIS SHEET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

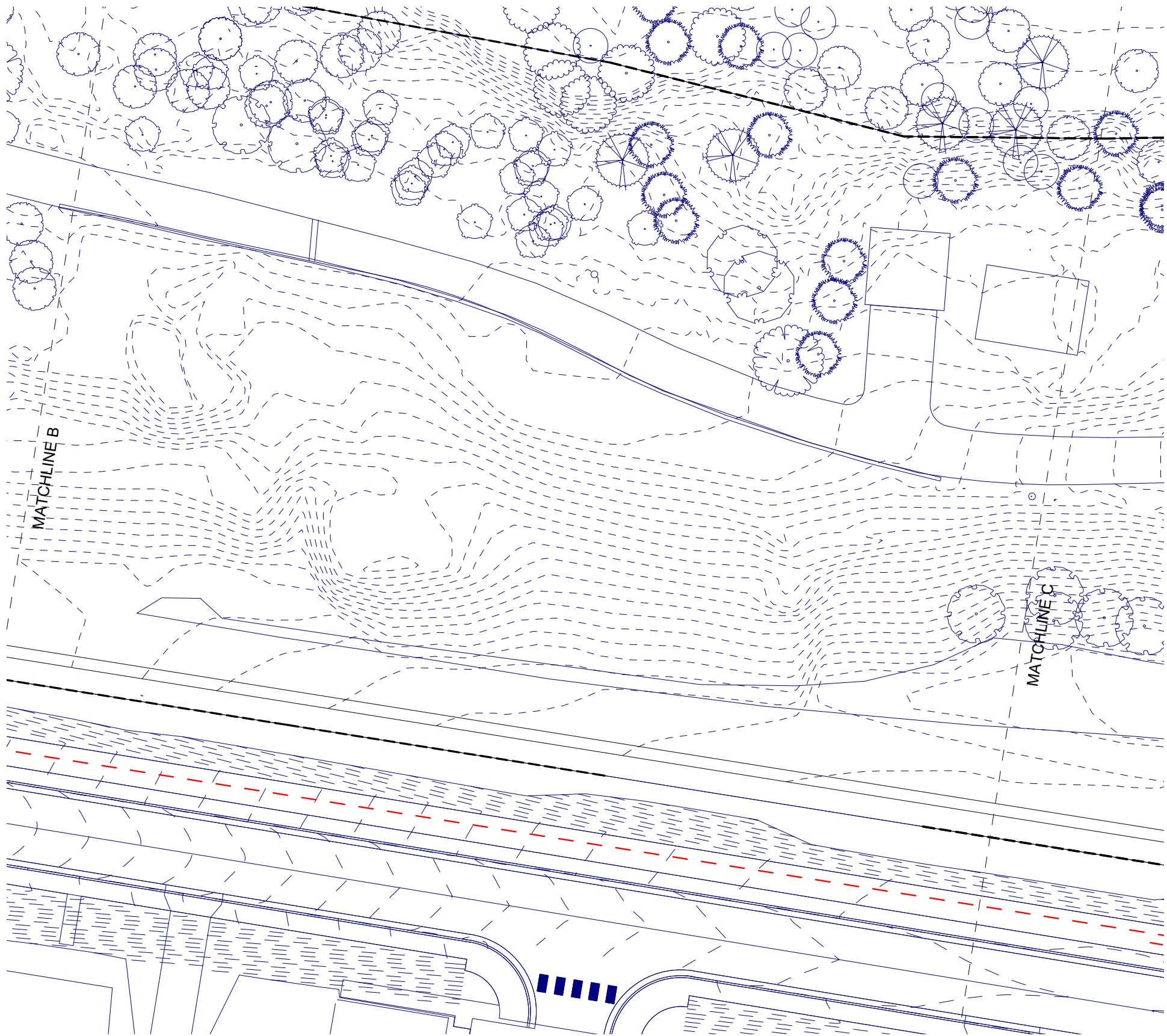
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PRINTED NAME: _____
DATE: 03/23/20
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MISSION CREEK CEMETERY
SITE PROTECTION PLAN ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L12 of LXX Sheets

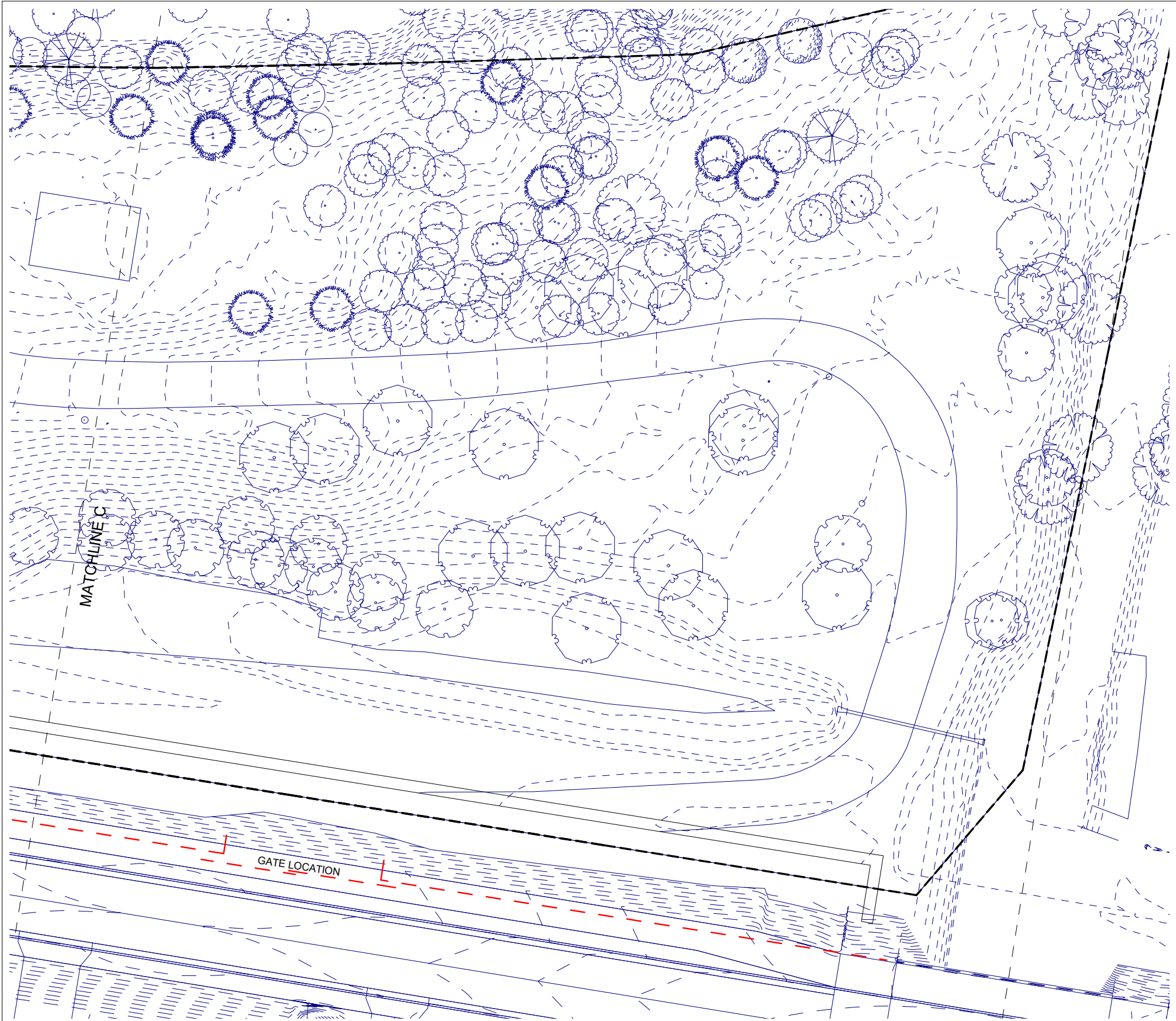


SITE PROTECTION LEGEND

--- PROTECTIVE FENCE - MndOT GOVERNED

- NOTES:
- 1. SITE PROTECTION TO BE COORDINATED WITH MndOT, LANDSCAPE ARCHITECT, AND CONTRACTOR PRIOR TO CONSTRUCTION.
 - 2. SITE PROTECTION PHASING PHASING WILL OCCUR OVER THE COURSE OF THE PROJECT.
 - 3. FENCING SHALL BE HELD IN PLACE WITH STANCHIONS AND SAND BAGS. PENETRATION OF THE EXISTING GRADE IS STRICTLY PROHIBITED UNLESS WRITTEN CONSENT BY LANDSCAPE ARCHITECT IS GIVEN.

1 ENLARGED PLAN ZONE B - SITE PROTECTION PLAN
1" = 40'-0"



SITE PROTECTION LEGEND

- - - - - PROTECTIVE FENCE - MnDOT GOVERNED

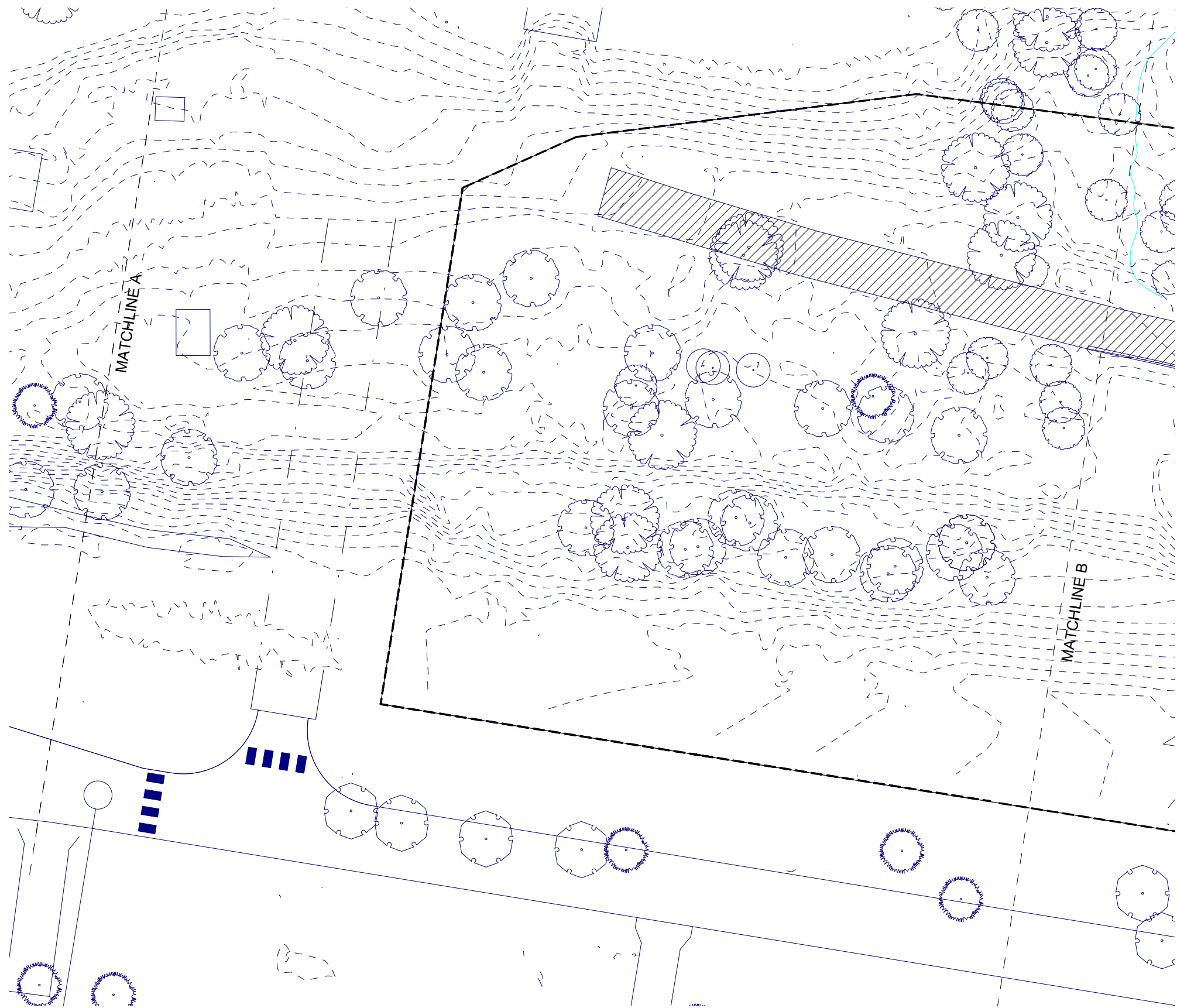
- NOTES:
1. SITE PROTECTION TO BE COORDINATED WITH MnDOT, LANDSCAPE ARCHITECT, AND CONTRACTOR PRIOR TO CONSTRUCTION.
 2. SITE PROTECTION PHASING PHASING WILL OCCUR OVER THE COURSE OF THE PROJECT.
 3. FENCING SHALL BE HELD IN PLACE WITH STANCHIONS AND SAND BAGS. PENETRATION OF THE EXISTING GRADE IS STRICTLY PROHIBITED UNLESS WRITTEN CONSENT BY LANDSCAPE ARCHITECT IS GIVEN.

1 ENLARGED PLAN ZONE C - SITE PROTECTION PLAN
1" = 40'-0"

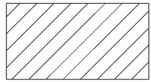
IN PROGRESS - TEMP EROSION CONTROL

IN PROGRESS - TEMP EROSION CONTROL

IN PROGRESS - TEMP EROSION CONTROL



DEMOLITION LEGEND



REMOVE EXISTING BITUMINOUS ROAD. STRIP ONLY BITUMINOUS.
PROTECT EXISTING AGGREGATE BASE. (BURIAL SOILS BELOW)

NOTES:
1. TREES TO BE TRIMMED, PRUNED OR REMOVED DOWN TO EXISTING GRADE
SHALL BE TAGGED BY LANDSCAPE ARCHITECT ON SITE

1 ENLARGED PLAN ZONE A - DEMOLITION PLAN
1" = 40'-0"

DRAWN BY: Author
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT
CHECKED BY: Checker UNDER THE LAWS OF THE STATE OF MINNESOTA.

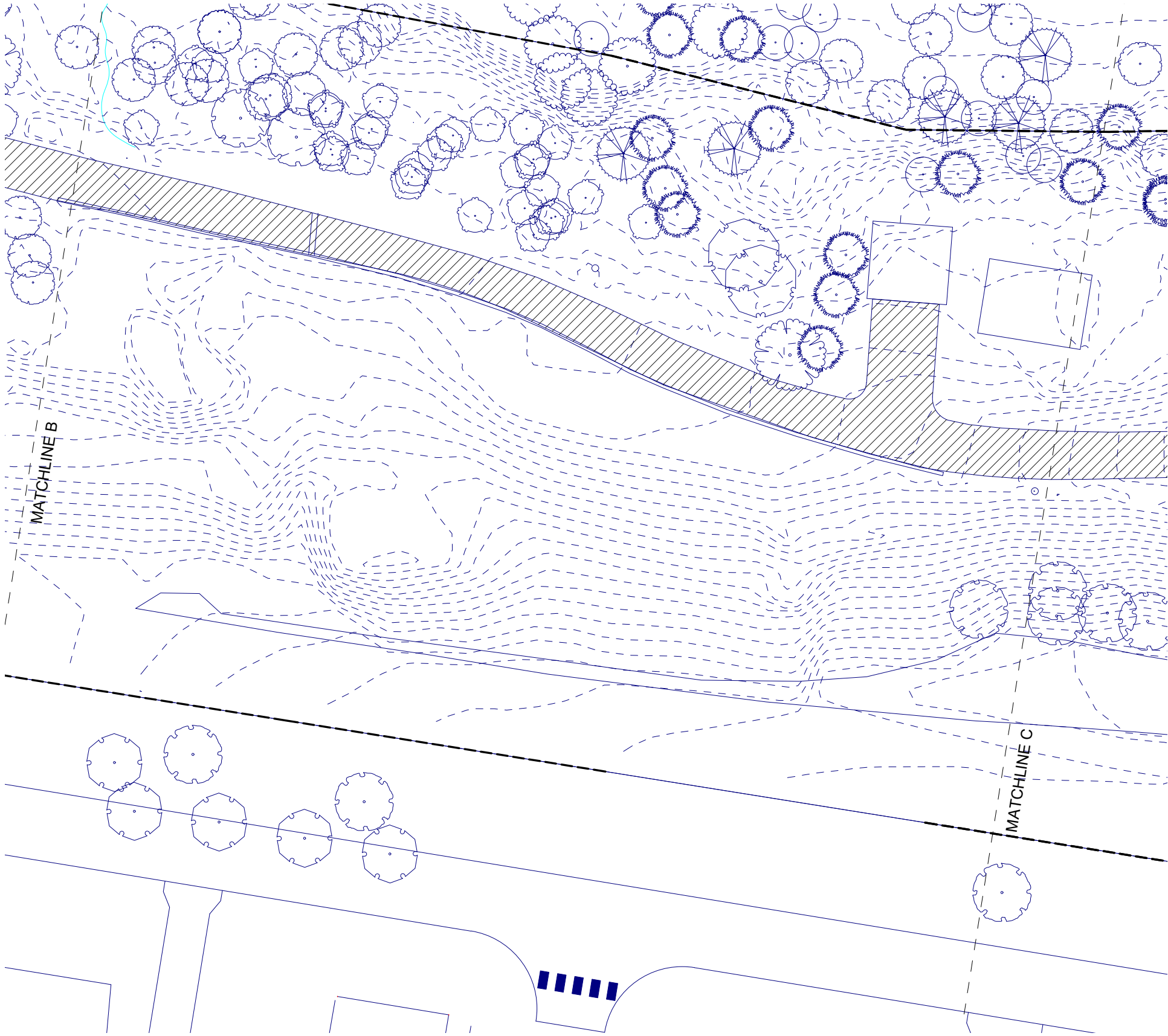
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PRINTED NAME: _____
DATE: 03/23/20 LIC. NO. #####

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MISSION CREEK CEMETERY
DEMOLITION PLAN ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L18 of LXX Sheets



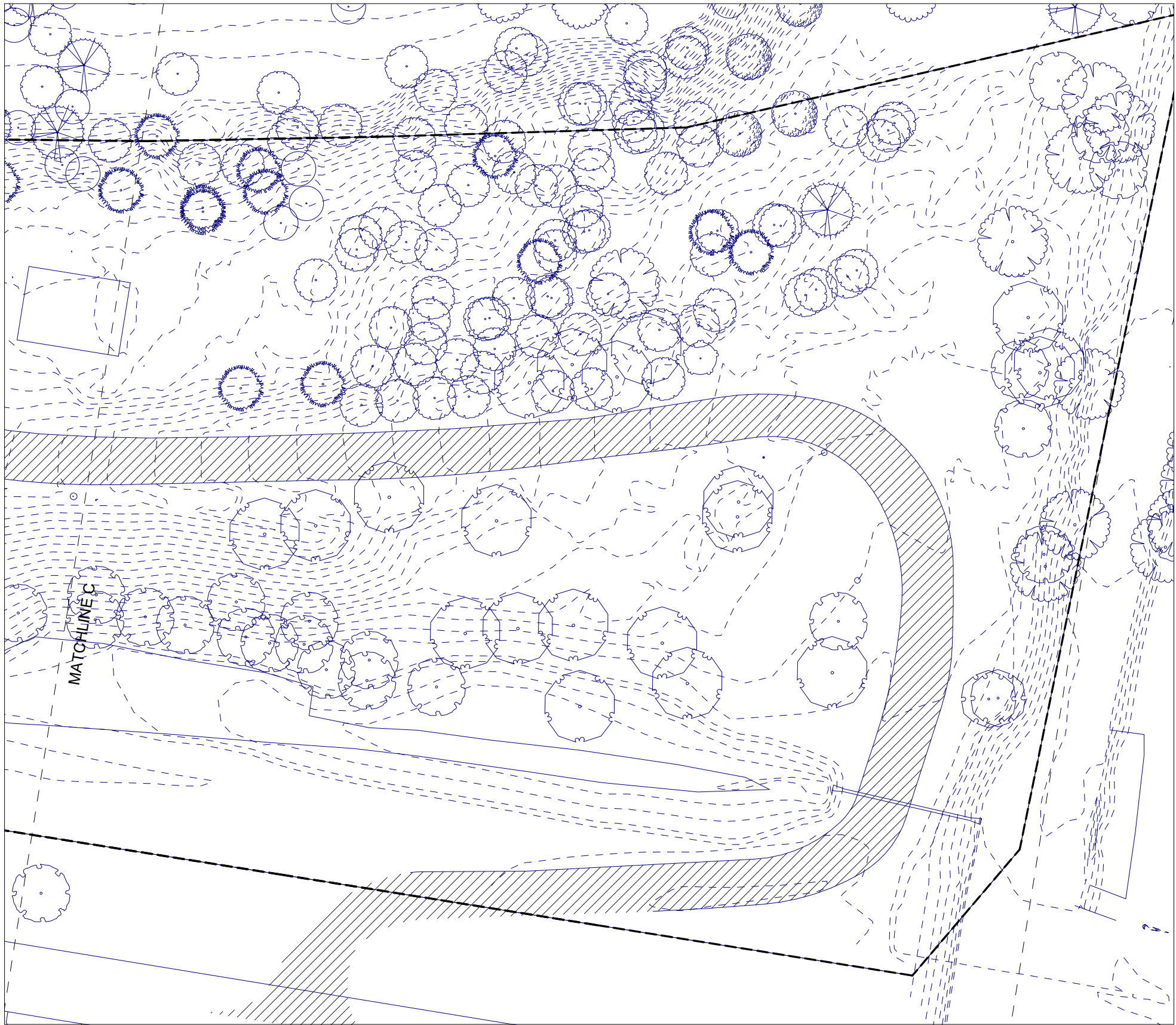
DEMOLITION LEGEND



REMOVE EXISTING BITUMINOUS ROAD. STRIP ONLY BITUMINOUS.
PROTECT EXISTING AGGREGATE BASE. (BURIAL SOILS BELOW)

NOTES:
1. TREES TO BE TRIMMED, PRUNED OR REMOVED DOWN TO EXISTING GRADE
SHALL BE TAGGED BY LANDSCAPE ARCHITECT ON SITE

1 ENLARGED PLAN ZONE B - DEMOLITION PLAN
1" = 40'-0"

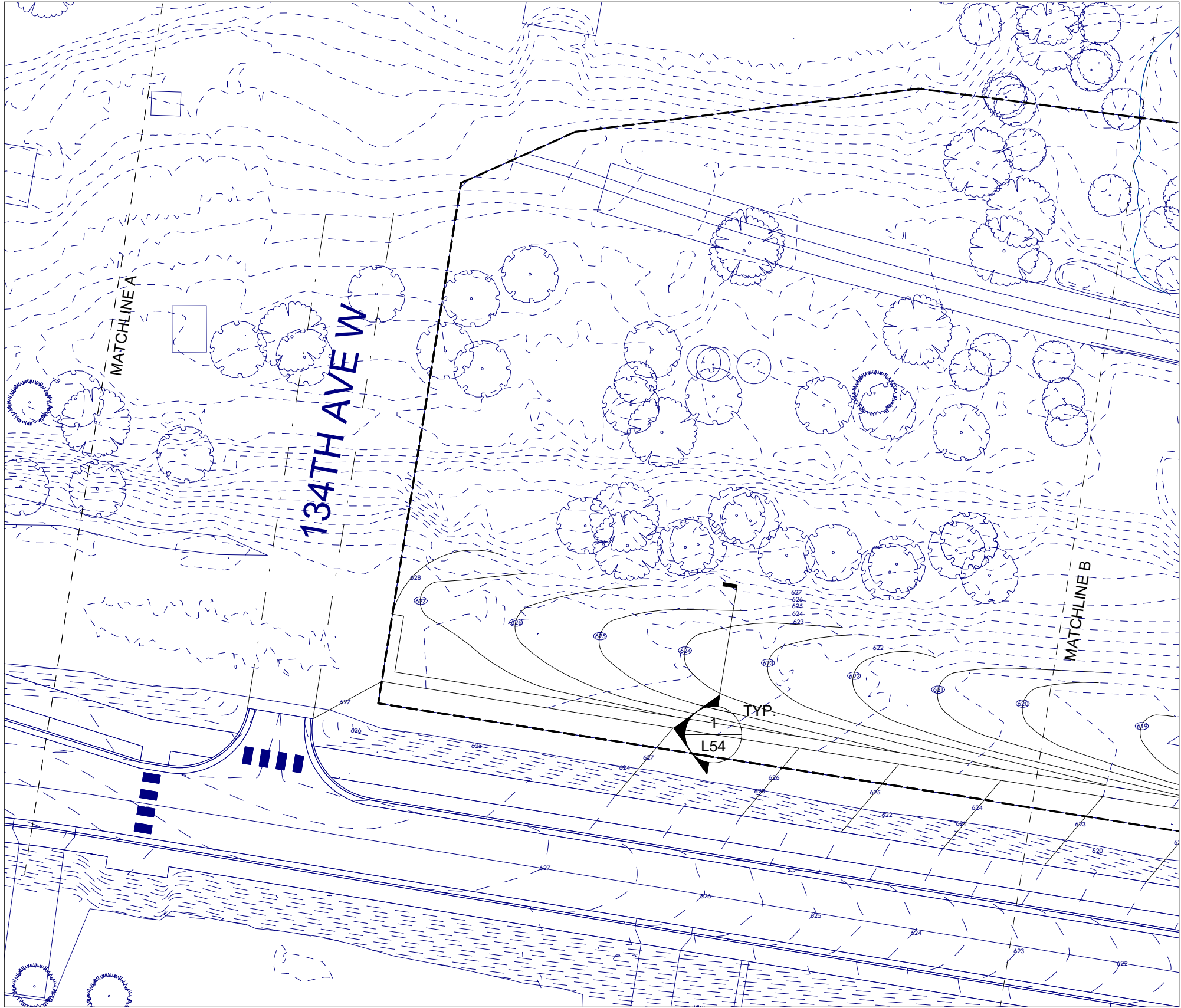


DEMOLITION LEGEND

REMOVE EXISTING BITUMINOUS ROAD. STRIP ONLY BITUMINOUS.
PROTECT EXISTING AGGREGATE BASE. (BURIAL SOILS BELOW)

NOTES:
1. TREES TO BE TRIMMED, PRUNED OR REMOVED DOWN TO EXISTING GRADE
SHALL BE TAGGED BY LANDSCAPE ARCHITECT ON SITE

1 ENLARGED PLAN ZONE C - DEMOLITION PLAN
1" = 40'-0"

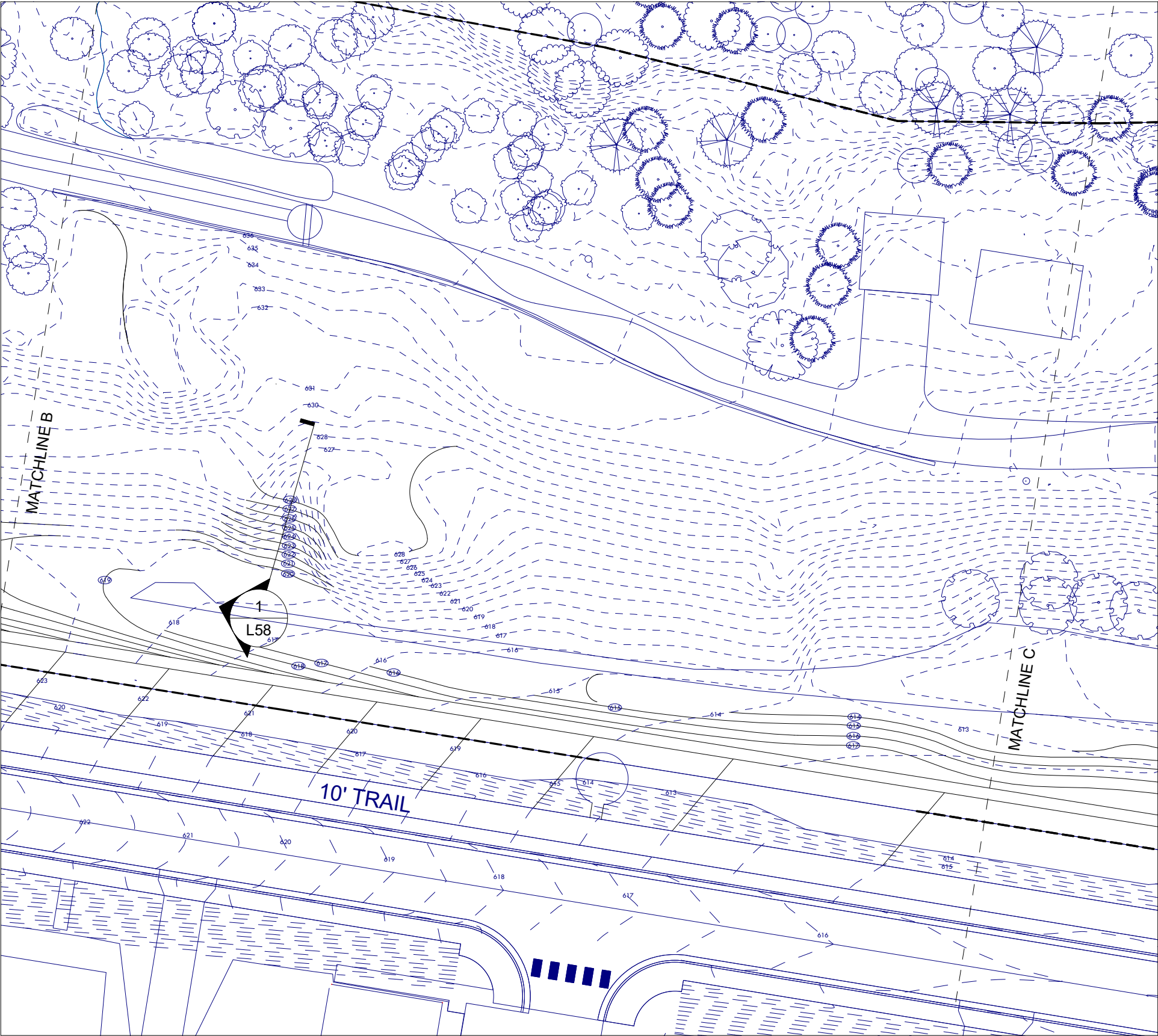


EXISTING/ROUGH GRADE LEGEND

- 620 --- EXISTING CONTOURS
- 620 --- ROUGH GRADE CONTOURS

NOTES:
1. NEW CONTOUR GRADES ARE FOR ADDING FILL ONLY. NO CUT INTO EXISTING SOIL IS SHOWN. IF THERE IS A DESCREPANCY BETWEEN FIELD CONDITIONS AND PLANS, LANDSCAPE ARCHITECT SHALL PROVIDE CLARIFICATION.

1 ENLARGED PLAN ZONE A - ROUGH GRADING
1" = 40'-0"



EXISTING/ROUGH GRADE LEGEND

- 620 --- EXISTING CONTOURS
- 620 --- ROUGH GRADE CONTOURS

NOTES:
1. NEW CONTOUR GRADES ARE FOR ADDING FILL ONLY. NO CUT INTO EXISTING SOIL IS SHOWN. IF THERE IS A DESCREPANCY BETWEEN FIELD CONDITIONS AND PLANS, LANDSCAPE ARCHITECT SHALL PROVIDE CLARIFICATION.

1 ENLARGED PLAN ZONE B - ROUGH GRADING
1" = 40'-0"

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CHECKED BY: Checker

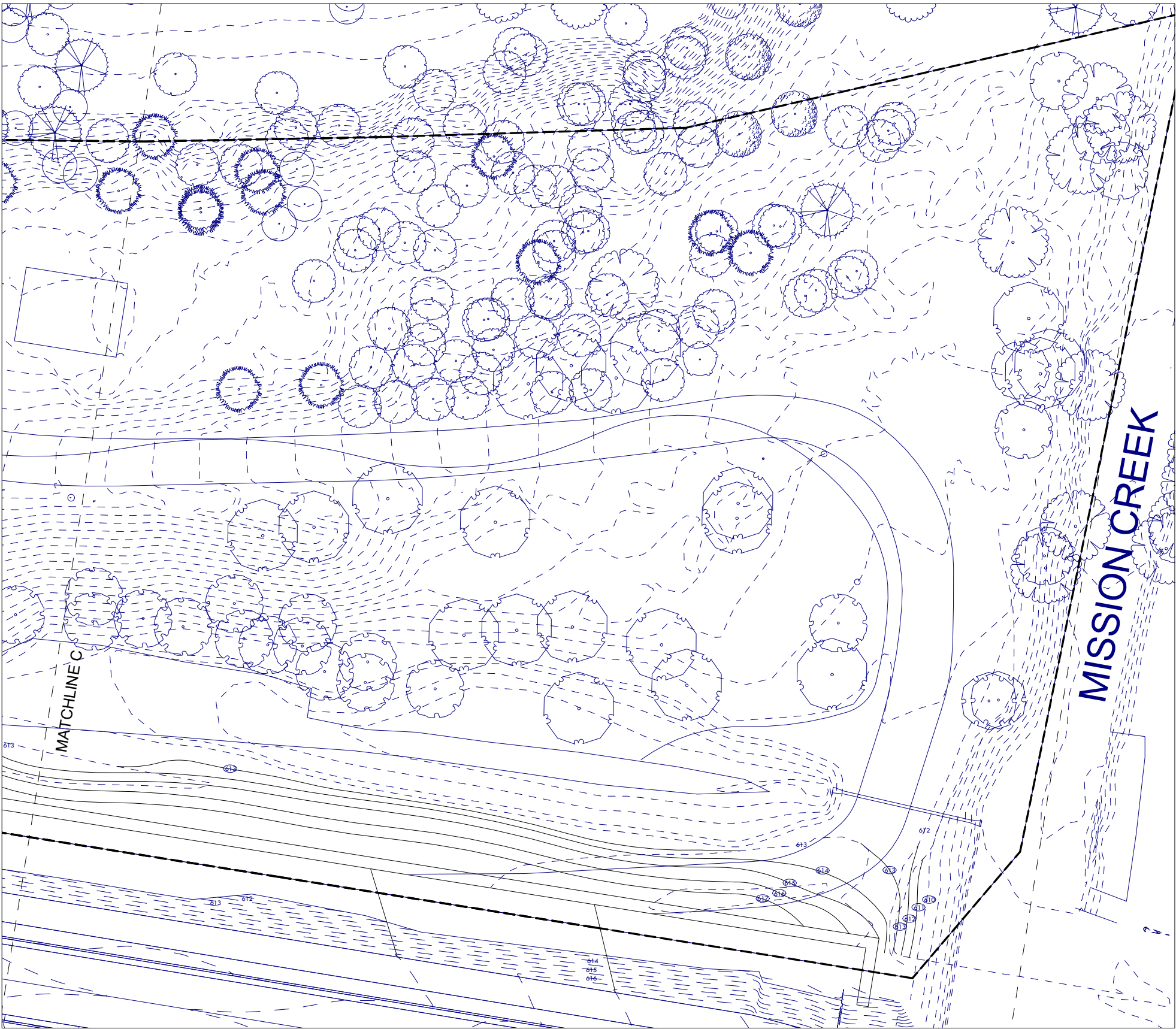
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PRINTED NAME: _____
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MISSION CREEK CEMETERY
EXISTING/ROUGH GRADING PLAN ZONE B

STATE PROJ. NO. 6910-107
Sheet No. L22 of LXX Sheets

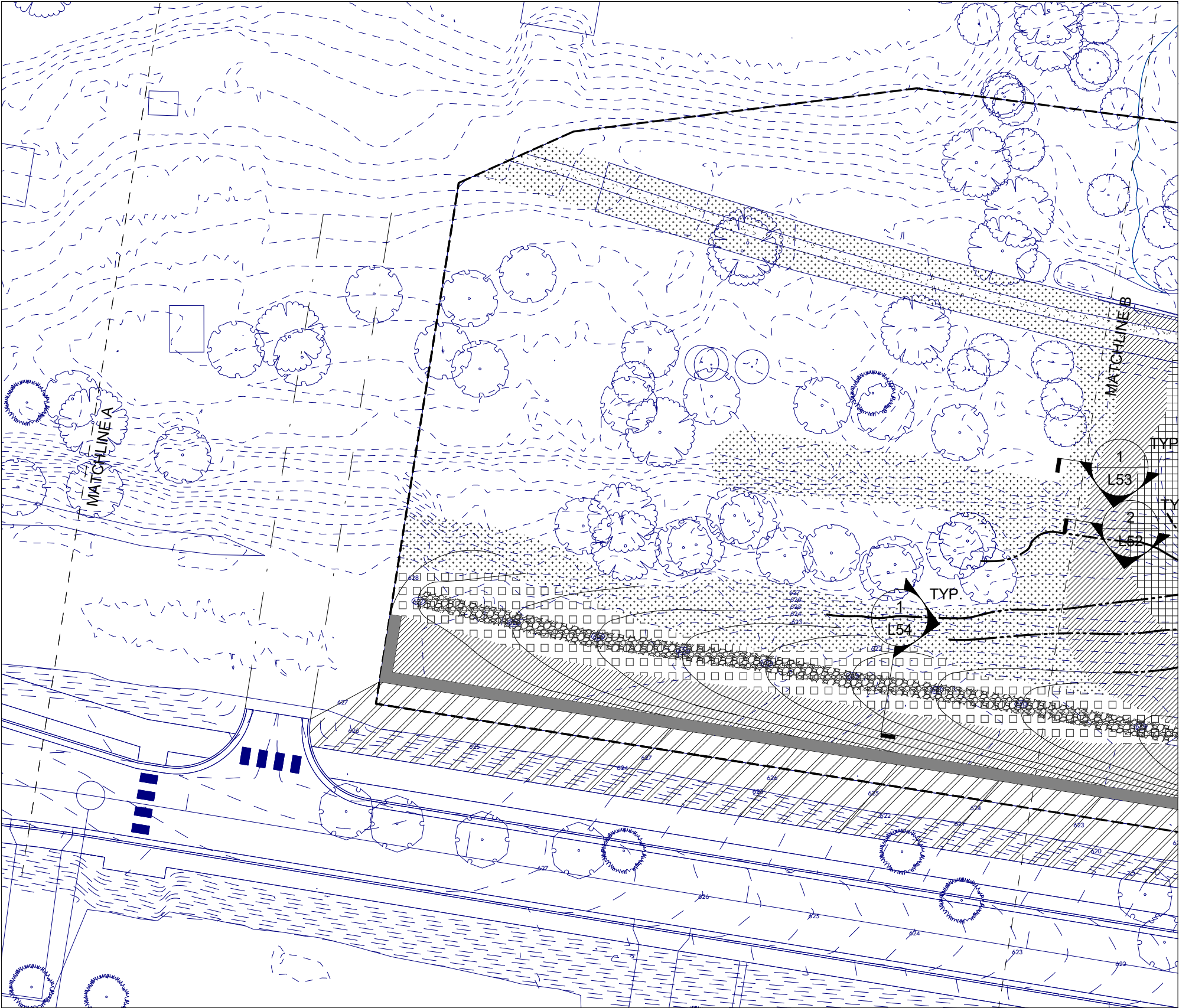


EXISTING/ROUGH GRADE LEGEND

- 620 --- EXISTING CONTOURS
- 620 — ROUGH GRADE CONTOURS

NOTES:
1. NEW CONTOUR GRADES ARE FOR ADDING FILL ONLY. NO CUT INTO EXISTING SOIL IS SHOWN. IF THERE IS A DISCREPANCY BETWEEN FIELD CONDITIONS AND PLANS, LANDSCAPE ARCHITECT SHALL PROVIDE CLARIFICATION.

1 ENLARGED PLAN ZONE C - ROUGH GRADING
1" = 40'-0"



SOILS TYPOLOGIES LEGEND

SOIL TYPOLOGY 2 - SWALE TYPE 1

SOIL TYPOLOGY 3 - BUILD-UP FROM ROAD TO WALL, SEE DETAIL 1/L59

SOIL TYPOLOGY 4 - EXISTING WETLAND

SOIL TYPOLOGY 5 - SWALE TYPE 2

SOIL TYPOLOGY 7 - 18" SECTION

SOIL TYPOLOGY 8 - 12" SECTION

SOIL TYPOLOGY 9 - 6" SECTION

6" ROCK TYPE X

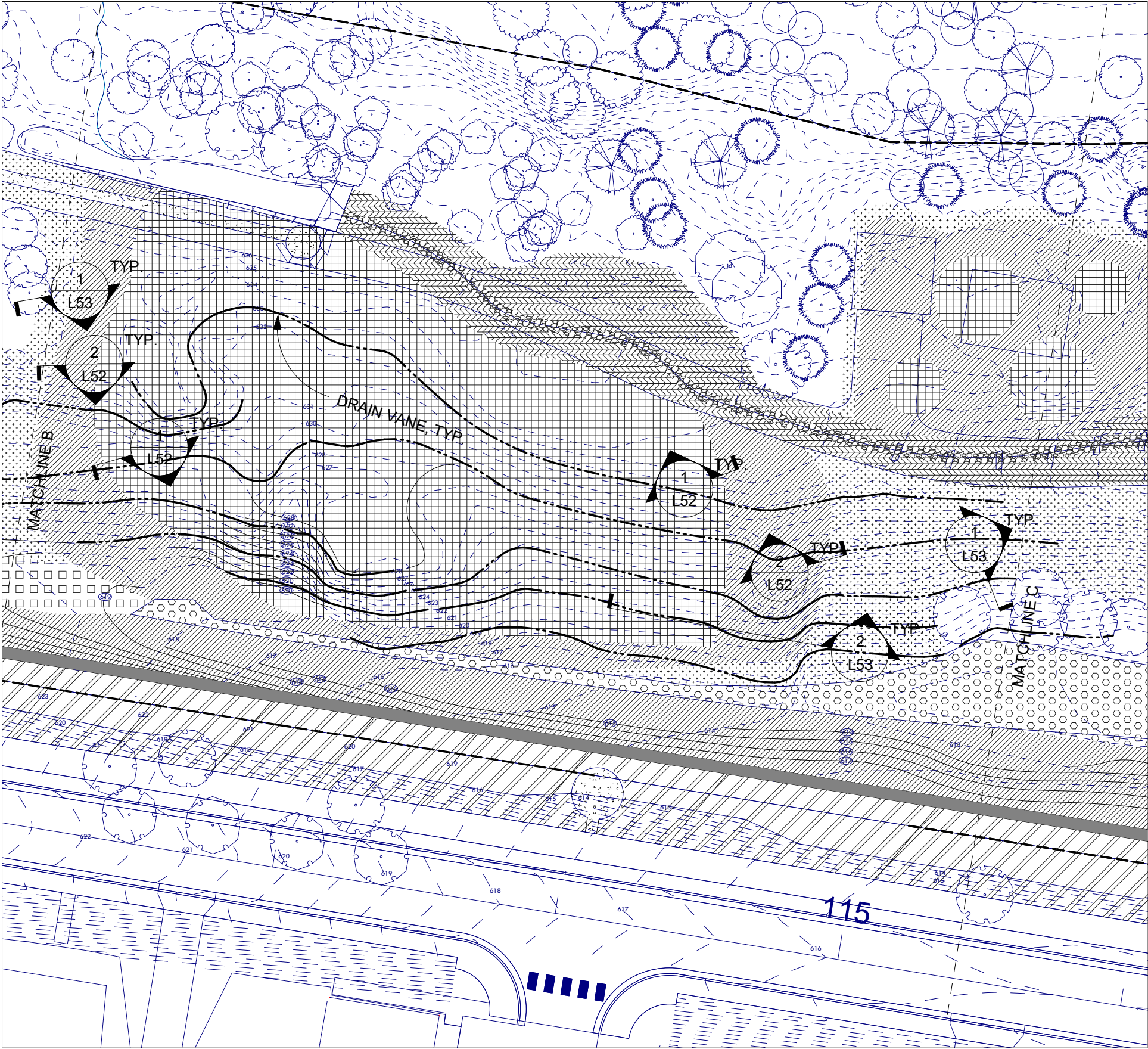
CRUSHED ROCK TYPE XXX

DRAIN VANE - SEE DETAIL 2/L19 - CONTRACTOR TO VERIFY LOCATION IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION

1

ENLARGED PLAN ZONE A - SOILS PLAN

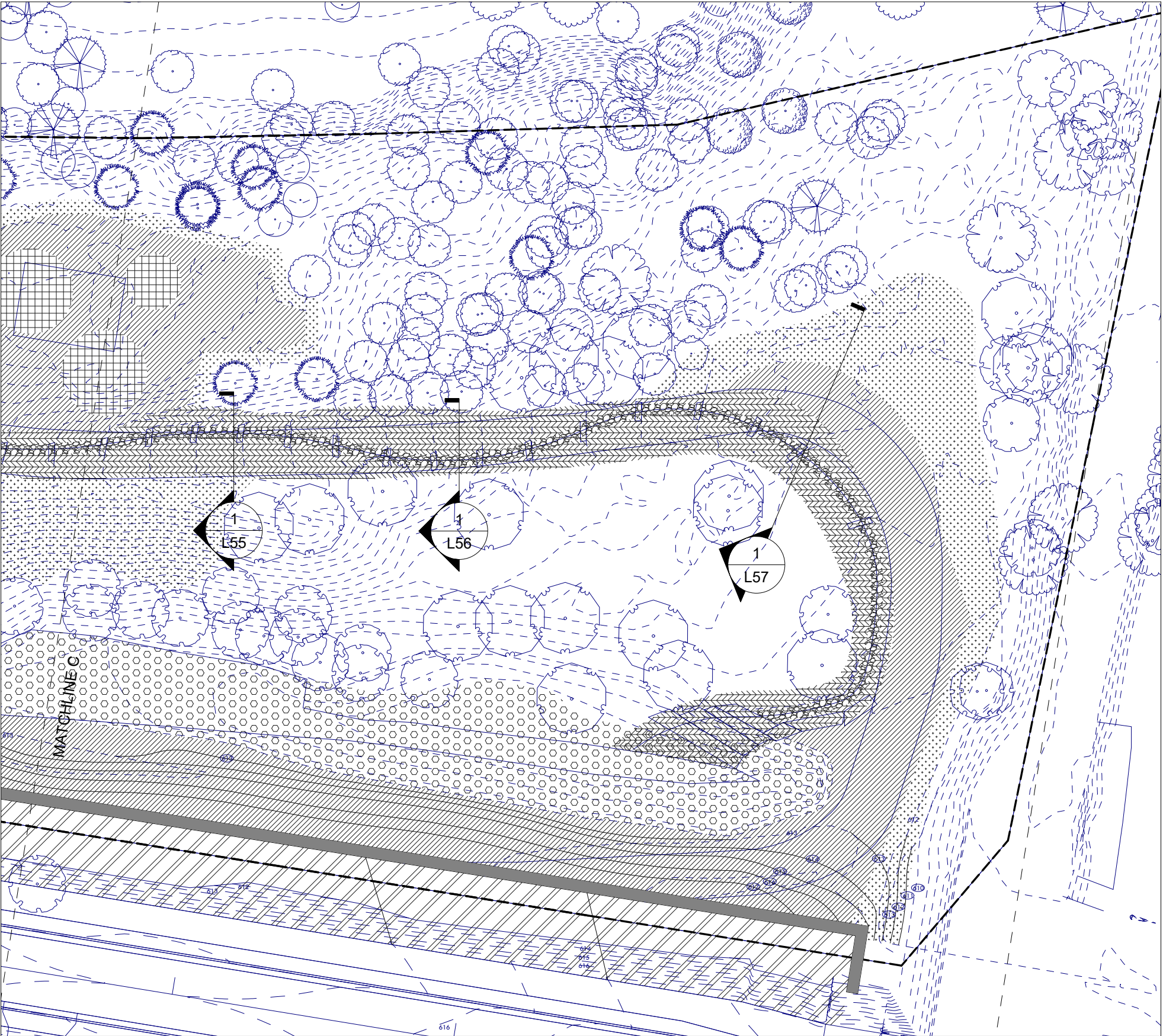
1" = 40'-0"



SOILS TYPOLOGIES LEGEND

- SOIL TYPOLOGY 2 - SWALE TYPE 1
- SOIL TYPOLOGY 3 - BUILD-UP FROM ROAD TO WALL, SEE DETAIL 1/L59
- SOIL TYPOLOGY 4 - EXISTING WETLAND
- SOIL TYPOLOGY 5 - SWALE TYPE 2
- SOIL TYPOLOGY 7 - 18" SECTION
- SOIL TYPOLOGY 8 - 12" SECTION
- SOIL TYPOLOGY 9 - 6" SECTION
- 6" ROCK TYPE X
- CRUSHED ROCK TYPE XXX
- DRAIN VANE - SEE DETAIL 2/L19 - CONTRACTOR TO VERIFY LOCATION IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION

1 ENLARGED PLAN ZONE B - SOILS PLAN
1" = 40'-0"



SOILS TYPOLOGIES LEGEND

- SOIL TYPOLOGY 2 - SWALE TYPE 1
- SOIL TYPOLOGY 3 - BUILD-UP FROM ROAD TO WALL, SEE DETAIL 1/L59
- SOIL TYPOLOGY 4 - EXISTING WETLAND
- SOIL TYPOLOGY 5 - SWALE TYPE 2
- SOIL TYPOLOGY 7 - 18" SECTION
- SOIL TYPOLOGY 8 - 12" SECTION
- SOIL TYPOLOGY 9 - 6" SECTION
- 6" ROCK TYPE X
- CRUSHED ROCK TYPE XXX
- DRAIN VANE - SEE DETAIL 2/L19 - CONTRACTOR TO VERIFY LOCATION IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION

1 ENLARGED PLAN ZONE C - SOILS PLAN
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker
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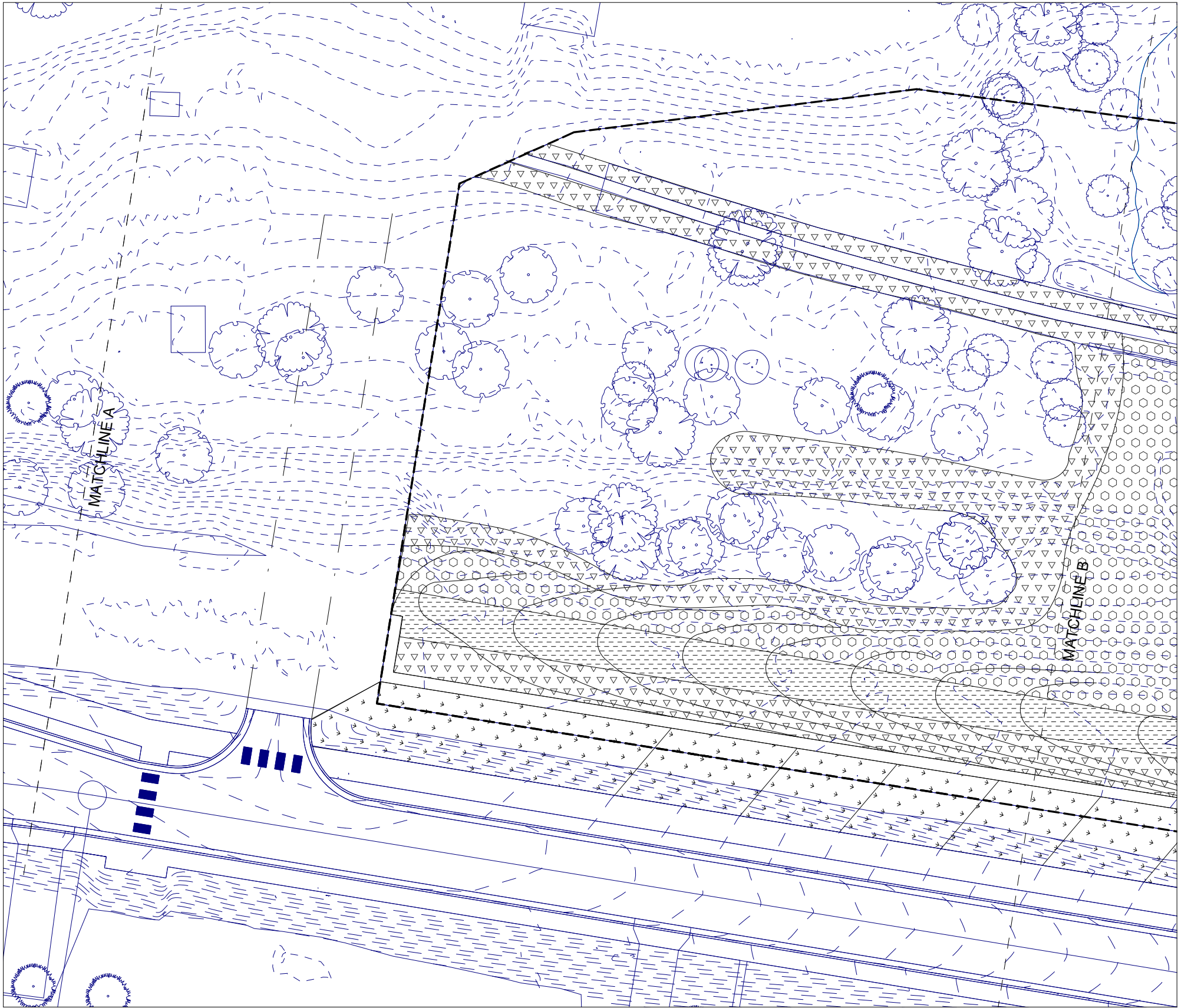
MISSION CREEK CEMETERY
SOILS PLAN ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L26 of LXX Sheets

IN PROGRESS - FINAL GRADING

IN PROGRESS - FINAL GRADING

IN PROGRESS - FINAL GRADING



SEEDING LEGEND

- WOODLAND EDGE NE 36-311
50,134 SQ FT - 33.5 LBS/AC
- ECOGRASS
24,821 SQ FT - 215 LBS/AC
- MESIC PRAIRIE GENERAL 35-241
42,549 SQ FT - 36.5 LBS/AC
- WET MEADOW NE 34-371
7,638 SQ FT - 31.5 LBS/AC

--- LIMIT OF WORK

1 ENLARGED PLAN ZONE A - SEEDING PLAN
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
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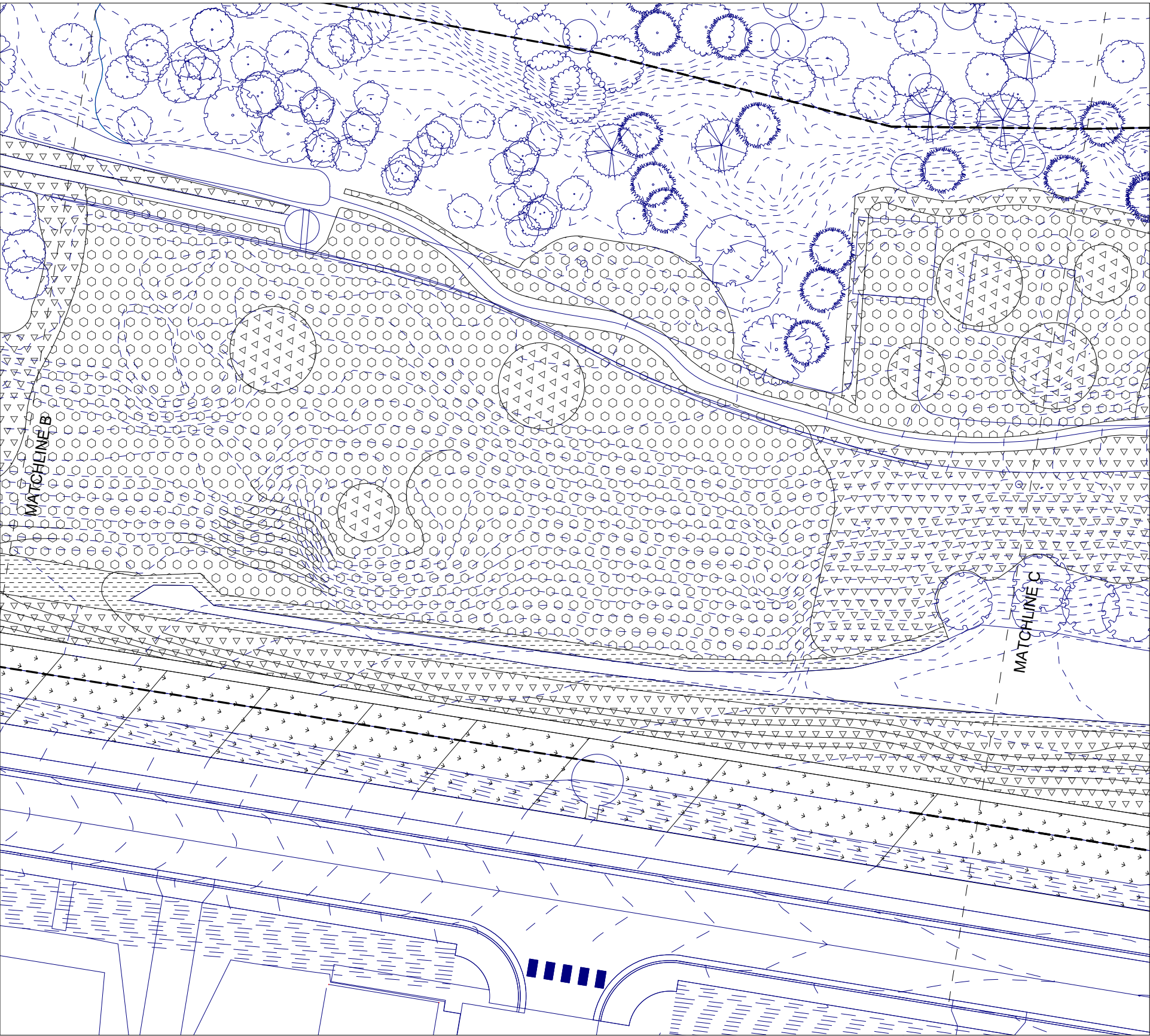
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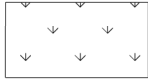
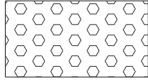
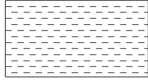

m DEPARTMENT OF
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MISSION CREEK CEMETERY
SEEDING ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L30 of LXX Sheets



SEEDING LEGEND

-  WOODLAND EDGE NE 36-311
50,134 SQ FT - 33.5 LBS/AC
-  ECOGRASS
24,821 SQ FT - 215 LBS/AC
-  MESIC PRAIRIE GENERAL 35-241
42,549 SQ FT - 36.5 LBS/AC
-  WET MEADOW NE 34-371
7,638 SQ FT - 31.5 LBS/AC
-  LIMIT OF WORK

1 ENLARGED PLAN ZONE B - SEEDING PLAN
1" = 40'-0"

DRAWN BY: Author
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT
CHECKED BY: Checker UNDER THE LAWS OF THE STATE OF MINNESOTA.

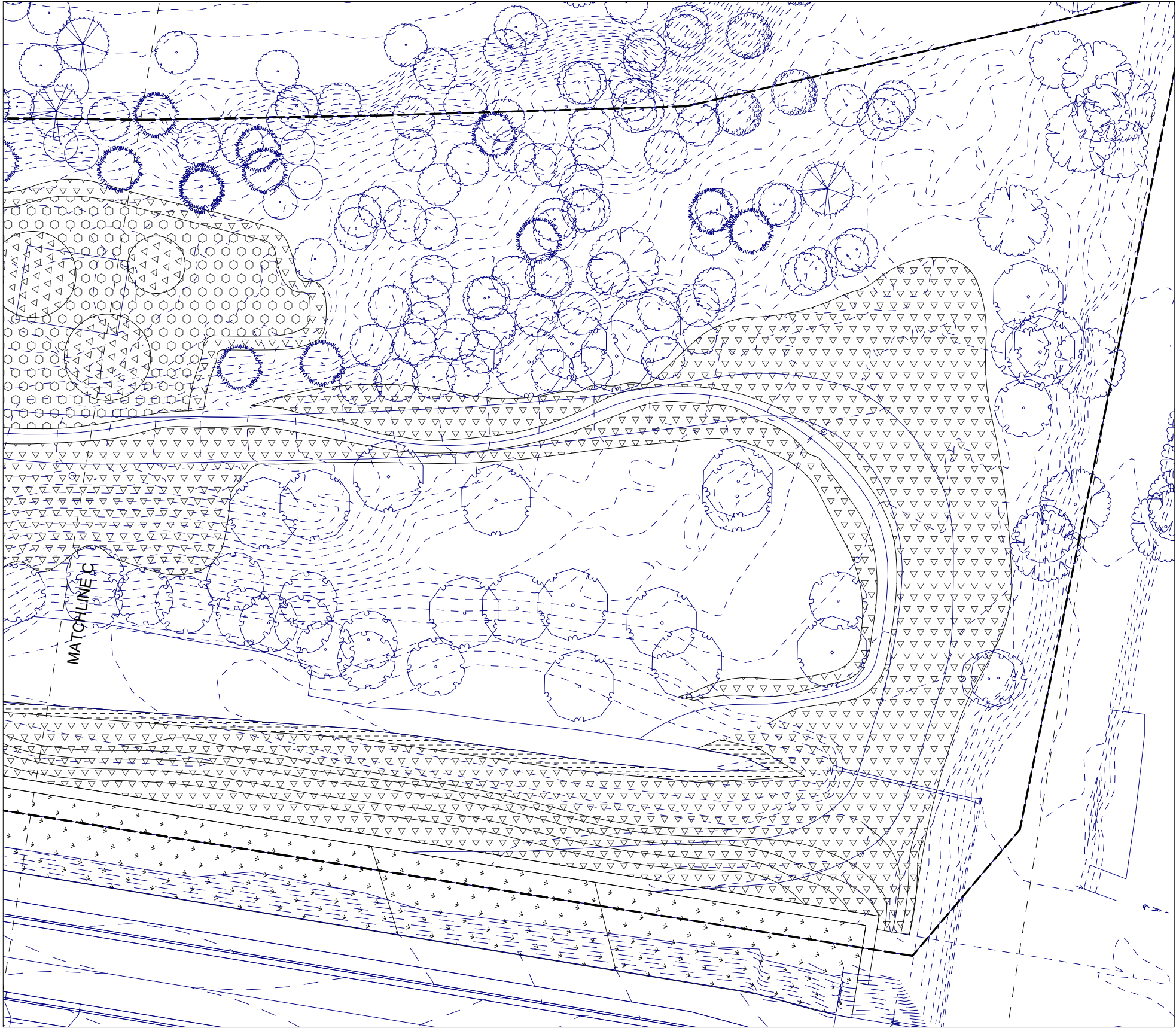
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PRINTED NAME: _____
DATE: 03/23/20 LIC. NO. #####

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MISSION CREEK CEMETERY
SEEDING ZONE B

STATE PROJ. NO. 6910-107
Sheet No. L31 of LXX Sheets



SEEDING LEGEND

- WOODLAND EDGE NE 36-311
50,134 SQ FT - 33.5 LBS/AC
- ECOGRASS
24,821 SQ FT - 215 LBS/AC
- MESIC PRAIRIE GENERAL 35-241
42,549 SQ FT - 36.5 LBS/AC
- WET MEADOW NE 34-371
7,638 SQ FT - 31.5 LBS/AC

--- LIMIT OF WORK

1 ENLARGED PLAN ZONE C - SEEDING PLAN
1" = 40'-0"

DRAWN BY: Author
CHECKED BY: Checker
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
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UNDER THE LAWS OF THE STATE OF MINNESOTA.

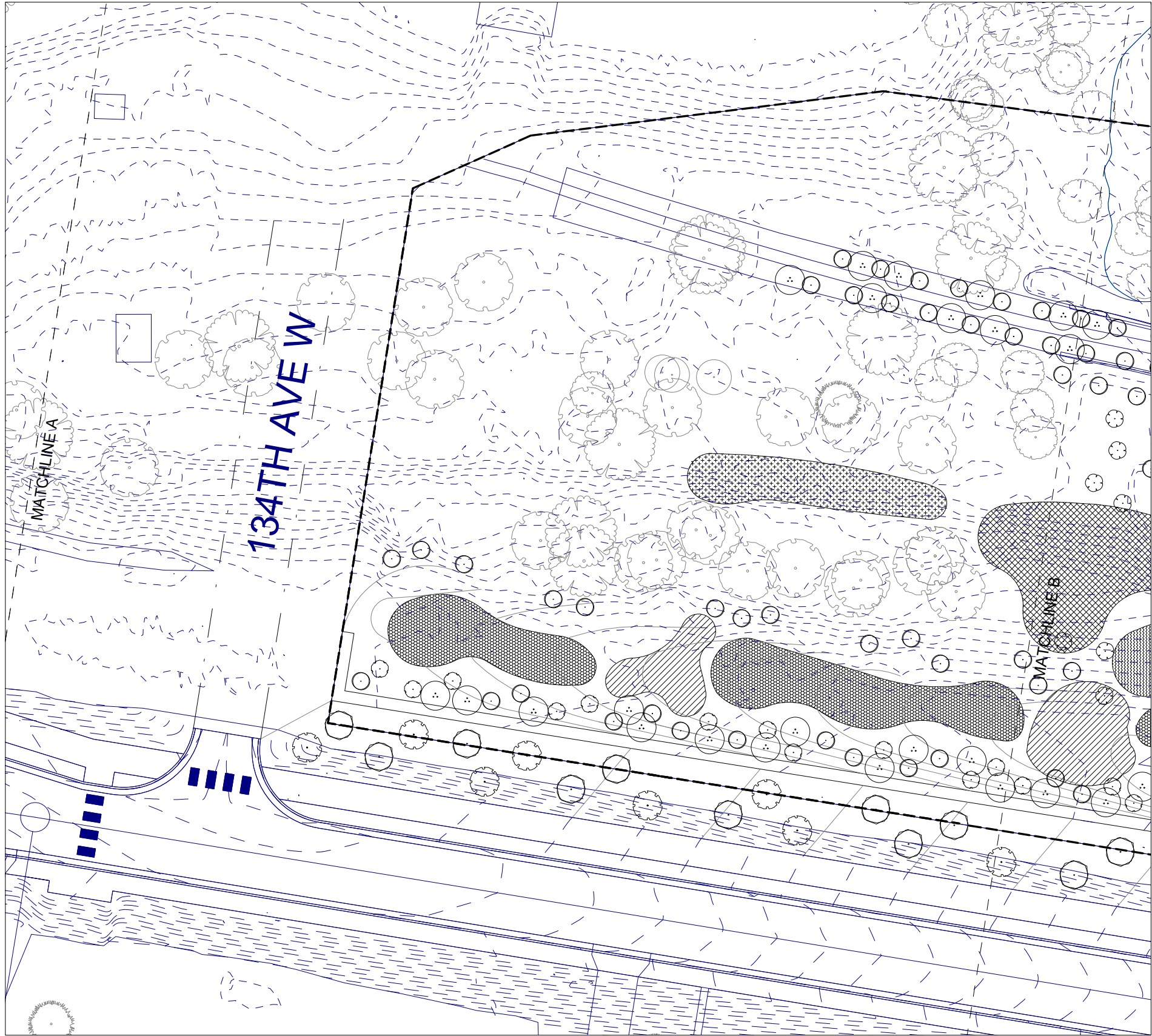
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MISSION CREEK CEMETERY
SEEDING ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L32 of LXX Sheets



TREE AND SHRUB LEGEND

- BETULA FAMILY
- CORYLUS FAMILY
- CORNUS FAMILY
- ALNUS FAMILY
- RHUS FAMILY

- NEW TREES
- MOTHER GARDEN A SPECIES TBD
- MOTHER GARDEN B SPECIES TBD
- MOTHER GARDEN C SPECIES TBD
- MOTHER GARDEN D SPECIES TBD
- MOTHER GARDEN E SPECIES TBD
- MOTHER GARDEN F SPECIES TBD
- MOTHER GARDEN G SPECIES TBD
- LIMIT OF WORK
- DEER FENCE. SEE DETAIL X/LXX

PLANT SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	
Ar	26	Acer rubrum / Red Maple	2.5" B&B	
As3	25	Acer saccharum / Sugar Maple	2.5" B&B	
Ac	119	Amelanchier canadensis / Canadian Serviceberry	#20	
Bp2	231	Betula papyrifera / Paper Birch	#20	
Je	9	Juniperus virginiana / Eastern Red Cedar	#20	
Pg2	27	Picea glauca / White Spruce	#20	
Ps2	37	Pinus strobus / White Pine	#20	
Qb	93	Quercus borealis / Northern Red Oak	#20	
Ta2	34	Thuja occidentalis / American Arborvitae	#20	
Tl	33	Tilia americana / American Linden	#20	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ar2	589	Alnus incana rugosa / Speckled Alder	3.5"	24" o.c.
Bp4	413	Betula papyrifera / Paper Birch	3.5"	36" o.c.
Cr	1,446	Cornus sericea / Red Twig Dogwood	3.5"	24" o.c.
Ca	3,539	Corylus americana / American Hazelnut	3.5"	24" o.c.
Rt	1,590	Rhus typhina / Staghorn Sumac	3.5"	24" o.c.

1 ENLARGED PLAN ZONE A - PLANTING
1" = 40'-0"

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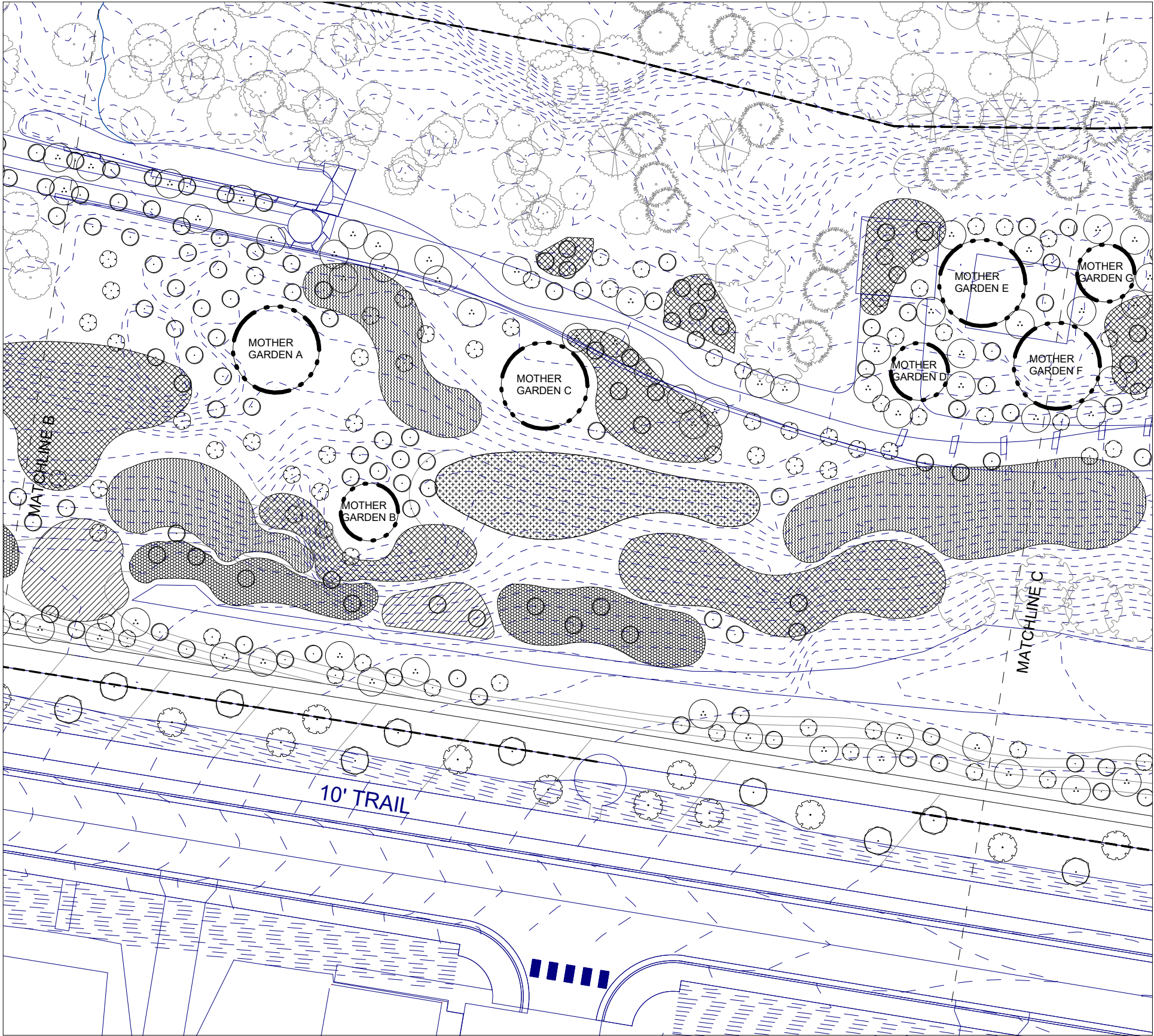
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MISSION CREEK CEMETERY
PLANTING PLAN - TREES/SHRUBS - ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L33 of LXX Sheets



TREE AND SHRUB LEGEND

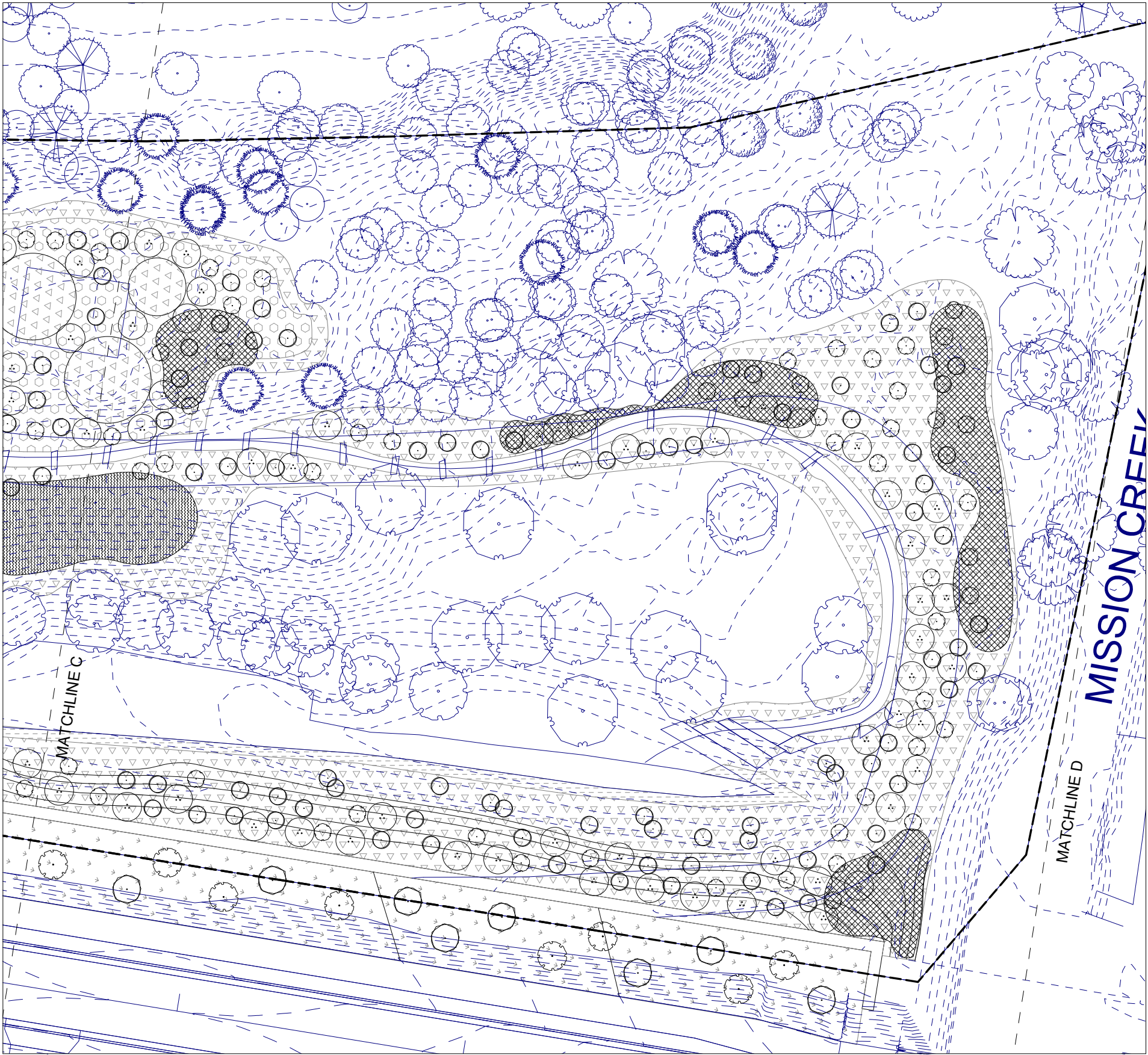
- BETULA FAMILY
- CORYLUS FAMILY
- CORNUS FAMILY
- ALNUS FAMILY
- RHUS FAMILY

- NEW TREES
- MOTHER GARDEN A SPECIES TBD
- MOTHER GARDEN B SPECIES TBD
- MOTHER GARDEN C SPECIES TBD
- MOTHER GARDEN D SPECIES TBD
- MOTHER GARDEN E SPECIES TBD
- MOTHER GARDEN F SPECIES TBD
- MOTHER GARDEN G SPECIES TBD

- LIMIT OF WORK
- DEER FENCE. SEE DETAIL X/LXX

PLANT SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	
Ar	26	Acer rubrum / Red Maple	2.5" B&B	
As3	25	Acer saccharum / Sugar Maple	2.5" B&B	
Ac	119	Amelanchier canadensis / Canadian Serviceberry	#20	
Bp2	231	Betula papyrifera / Paper Birch	#20	
Je	9	Juniperus virginiana / Eastern Red Cedar	#20	
Pg2	27	Picea glauca / White Spruce	#20	
Ps2	37	Pinus strobus / White Pine	#20	
Qb	93	Quercus borealis / Northern Red Oak	#20	
To2	34	Thuja occidentalis / American Arborvitae	#20	
Tl	33	Tilia americana / American Linden	#20	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ar2	589	Alnus incana rugosa / Speckled Alder	3.5"	24" o.c.
Bp4	413	Betula papyrifera / Paper Birch	3.5"	36" o.c.
Cr	1,446	Cornus sericea / Red Twig Dogwood	3.5"	24" o.c.
Ca	3,539	Corylus americana / American Hazelnut	3.5"	24" o.c.
Rt	1,590	Rhus typhina / Staghorn Sumac	3.5"	24" o.c.

1 ENLARGED PLAN ZONE B - PLANTING
1" = 40'-0"



TREE AND SHRUB LEGEND

- BETULA FAMILY
- CORYLUS FAMILY
- CORNUS FAMILY
- ALNUS FAMILY
- RHUS FAMILY

- NEW TREES
- MOTHER GARDEN A SPECIES TBD
- MOTHER GARDEN B SPECIES TBD
- MOTHER GARDEN C SPECIES TBD
- MOTHER GARDEN D SPECIES TBD
- MOTHER GARDEN E SPECIES TBD
- MOTHER GARDEN F SPECIES TBD
- MOTHER GARDEN G SPECIES TBD
- LIMIT OF WORK
- DEER FENCE. SEE DETAIL X/LXX

PLANT SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	
Ar	26	Acer rubrum / Red Maple	2.5" B&B	
As3	25	Acer saccharum / Sugar Maple	2.5" B&B	
Ac	119	Amelanchier canadensis / Canadian Serviceberry	#20	
Bp2	231	Betula papyrifera / Paper Birch	#20	
Je	9	Juniperus virginiana / Eastern Red Cedar	#20	
Pg2	27	Picea glauca / White Spruce	#20	
Ps2	37	Pinus strobus / White Pine	#20	
Qb	93	Quercus borealis / Northern Red Oak	#20	
Ta2	34	Thuja occidentalis / American Arborvitae	#20	
Tl	33	Tilia americana / American Linden	#20	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ar2	589	Alnus incana rugosa / Speckled Alder	3.5"	24" o.c.
Bp4	413	Betula papyrifera / Paper Birch	3.5"	36" o.c.
Cr	1,446	Cornus sericea / Red Twig Dogwood	3.5"	24" o.c.
Ca	3,539	Corylus americana / American Hazelnut	3.5"	24" o.c.
Rt	1,590	Rhus typhina / Staghorn Sumac	3.5"	24" o.c.

1 ENLARGED PLAN ZONE C - PLANTING
1" = 40'-0"

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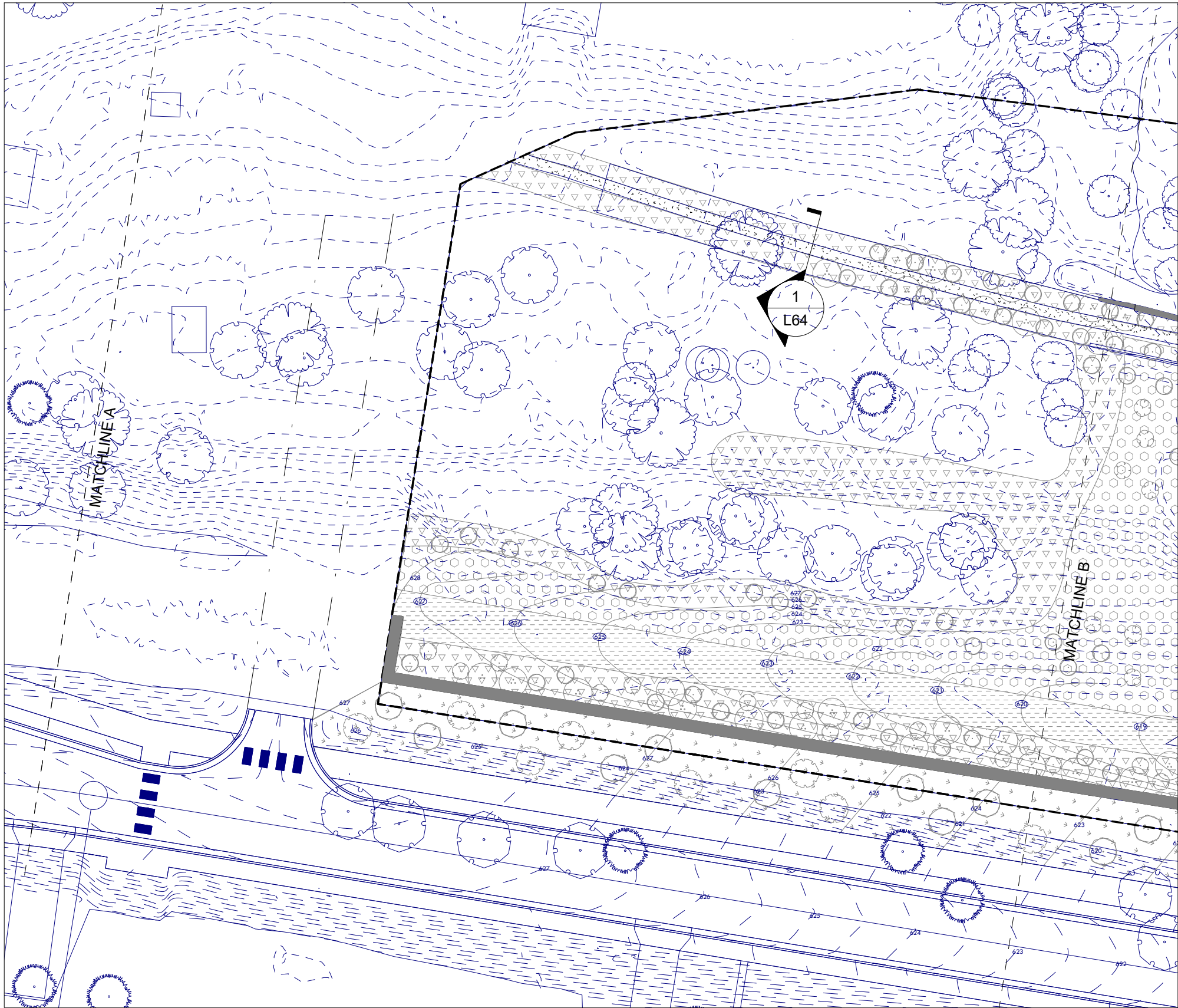
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PLANTING PLAN - TREES/SHRUBS - ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L35 of LXX Sheets



1 ENLARGED PLAN ZONE A - PATHWAY AND SPACES
1" = 40'-0"

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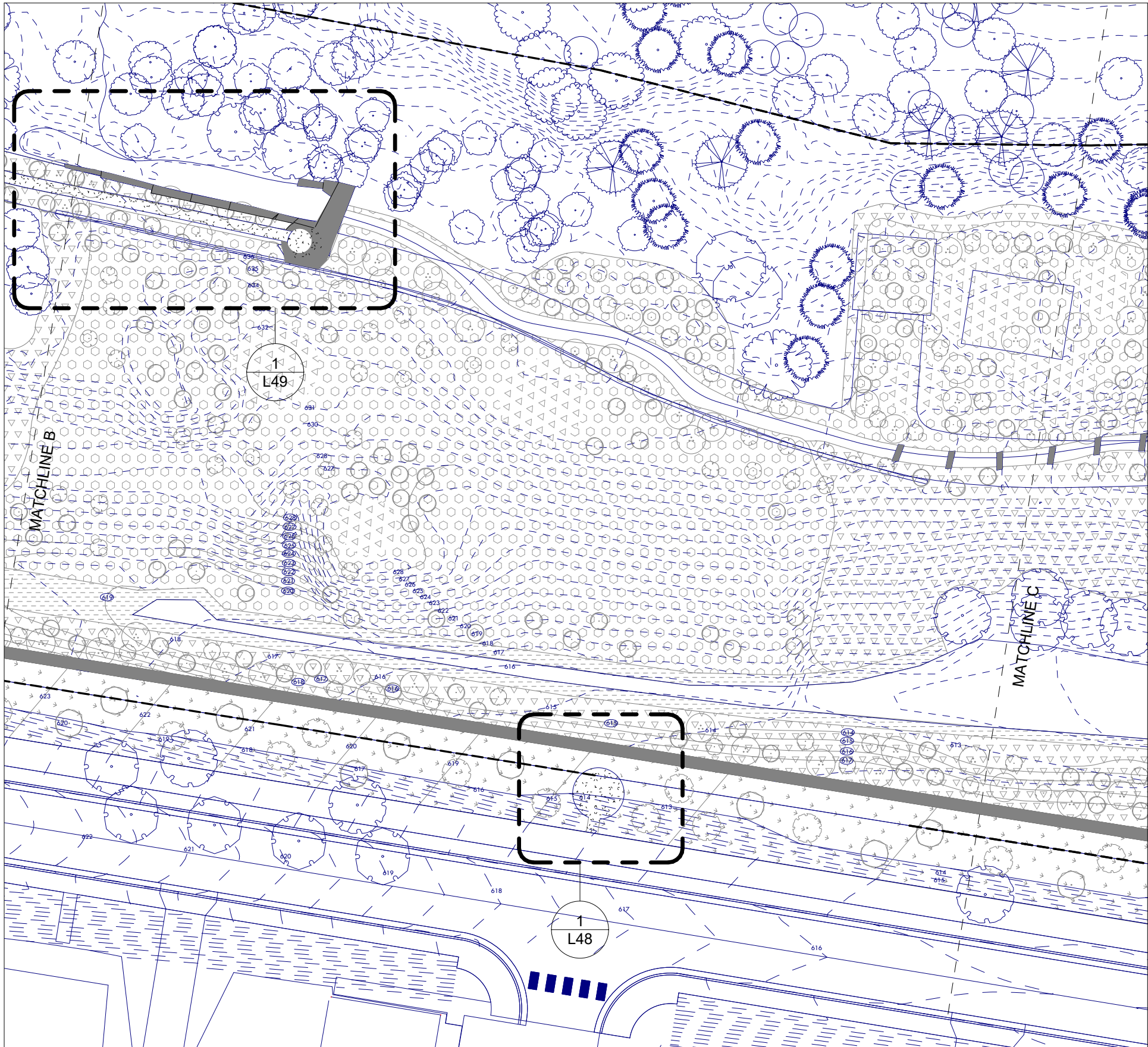
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PATHWAY AND SPACES ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L36 of LXX Sheets



1 ENLARGED PLAN ZONE B - PATHWAY AND SPACES
1" = 40'-0"

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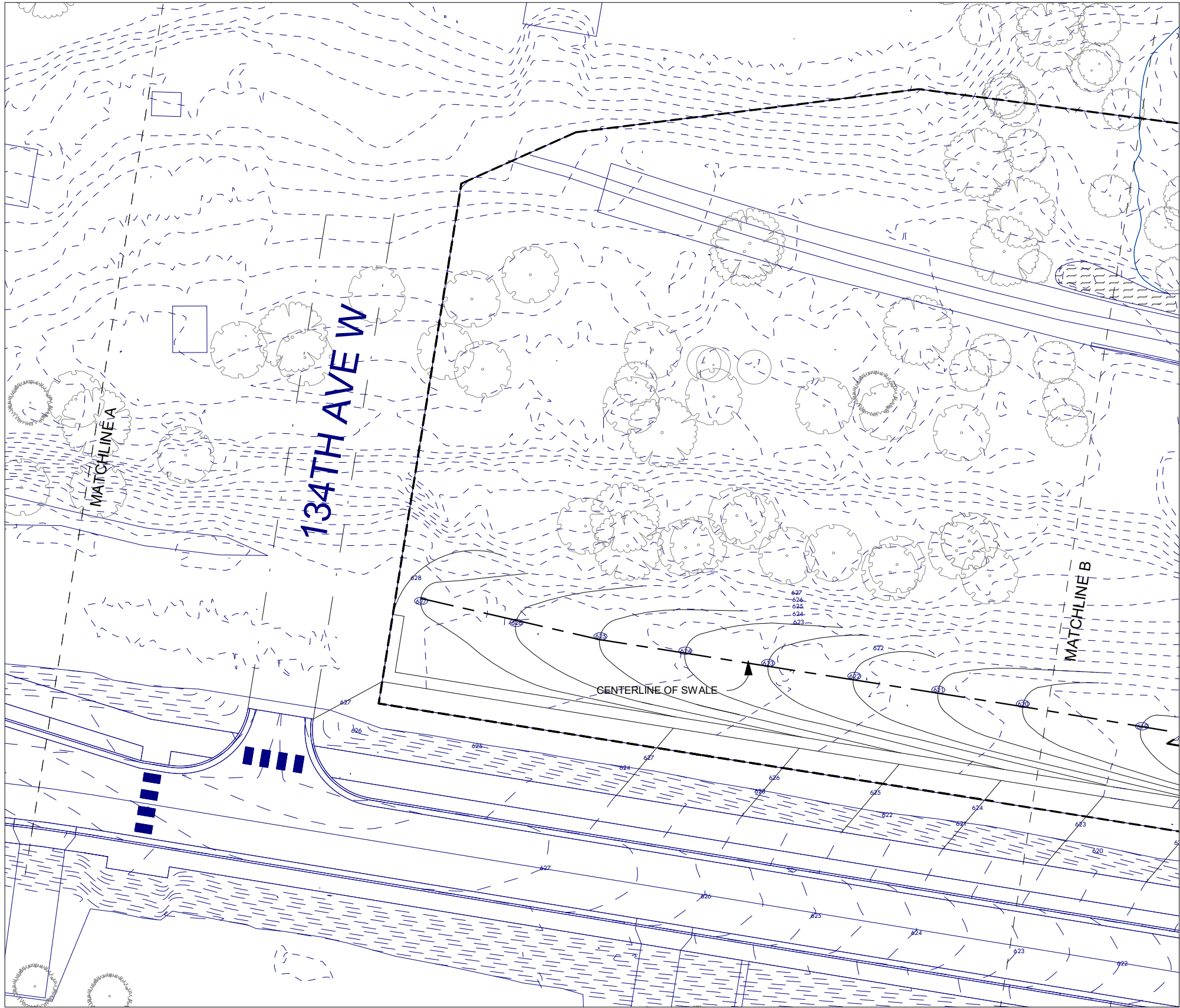
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PATHWAYS AND SPACES ZONE B

STATE PROJ. NO. 6910-107
Sheet No. L37 of LXX Sheets



1 ENLARGED PLAN ZONE A - WETLANDS/HYDROLOGY
1" = 40'-0"

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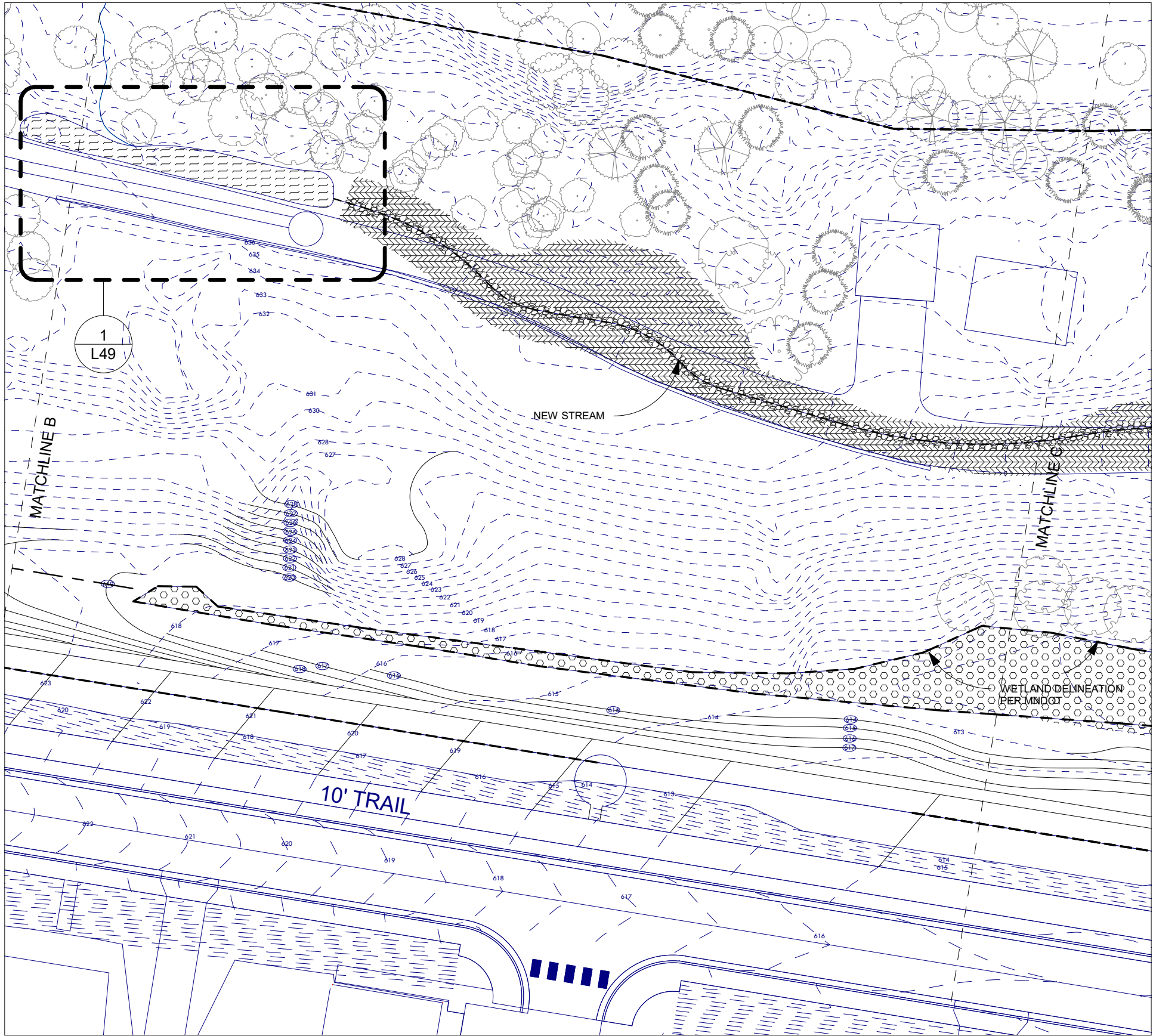
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MISSION CREEK CEMETERY
WETLANDS/HYDROLOGY ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L39 of LXX Sheets



1 ENLARGED PLAN ZONE B - WETLANDS/HYDROLOGY
1" = 40'-0"

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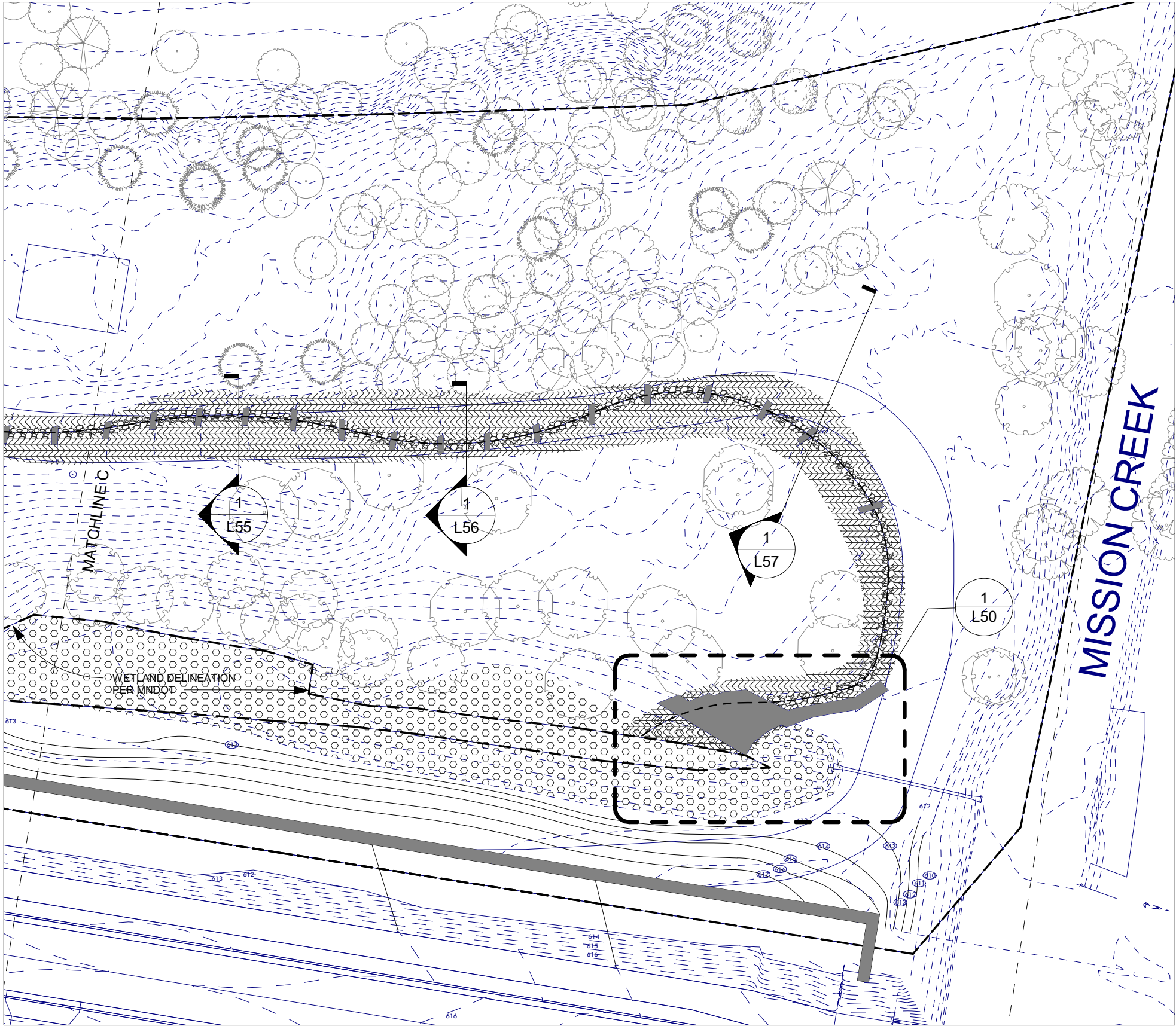
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WETLANDS/HYDROLOGY ZONE B

STATE PROJ. NO. 6910-107
Sheet No. L40 of LXX Sheets



1 ENLARGED PLAN ZONE C - WETLAND/HYDROLOGY
1" = 40'-0"

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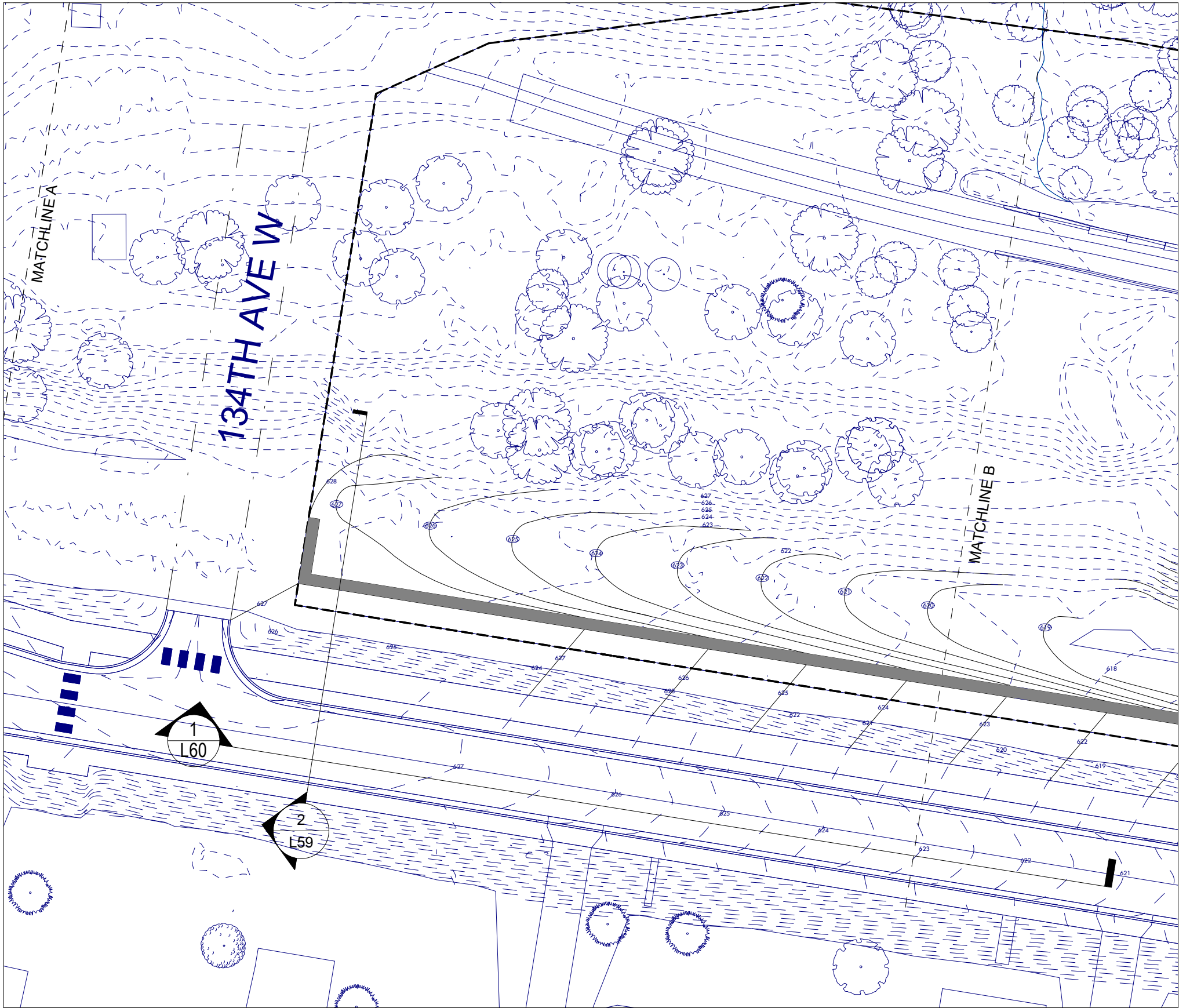
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WETLANDS/HYDROLOGY ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L41 of LXX Sheets



WALL LEGEND

- STONE WALL
- LIMIT OF WORK

1 ENLARGED PLAN ZONE A - WALL
1" = 40'-0"

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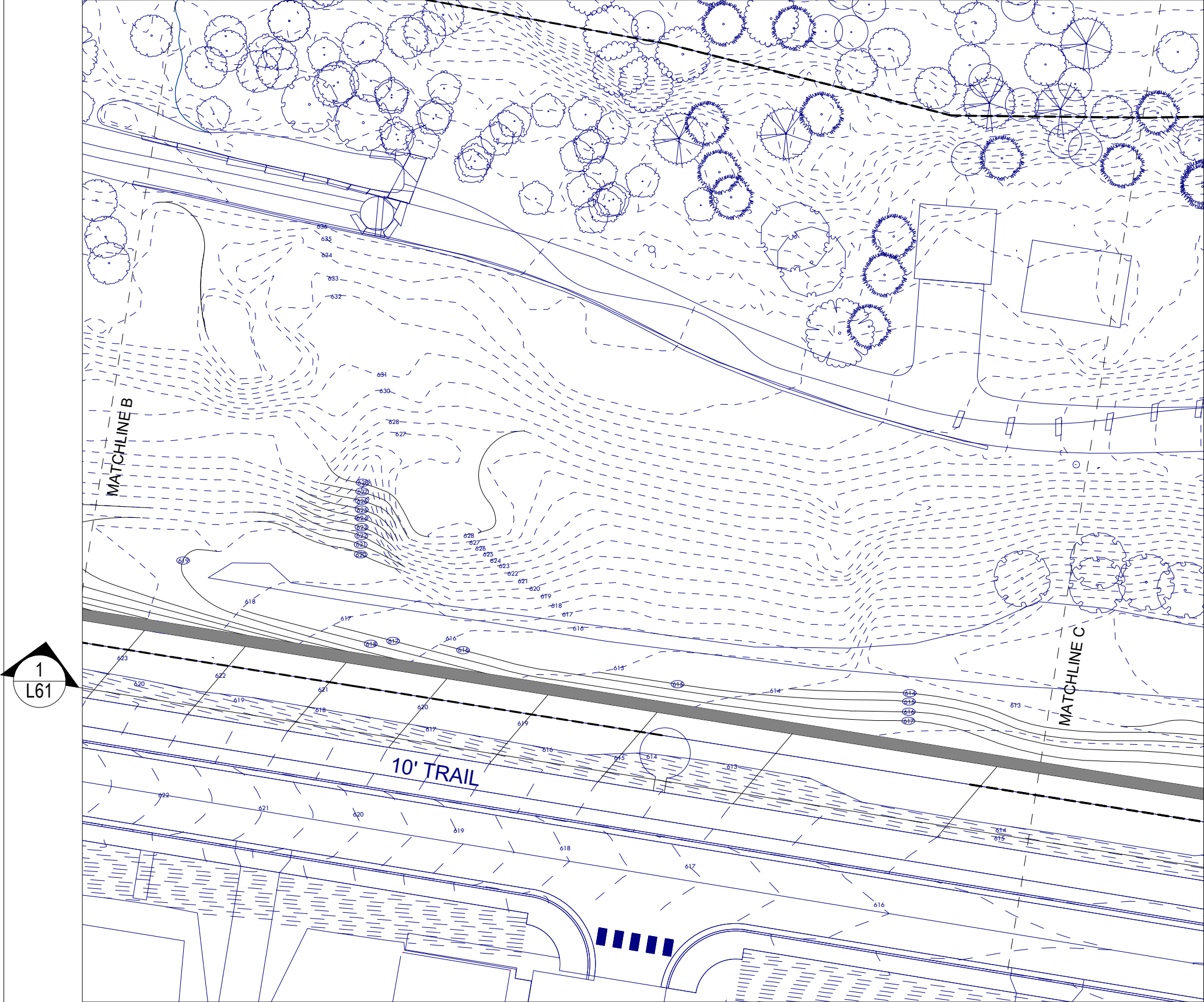
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WALL PLAN ZONE A

STATE PROJ. NO. 6910-107
Sheet No. L42 of LXX Sheets



1 ENLARGED PLAN ZONE B - WALL
1" = 40'-0"

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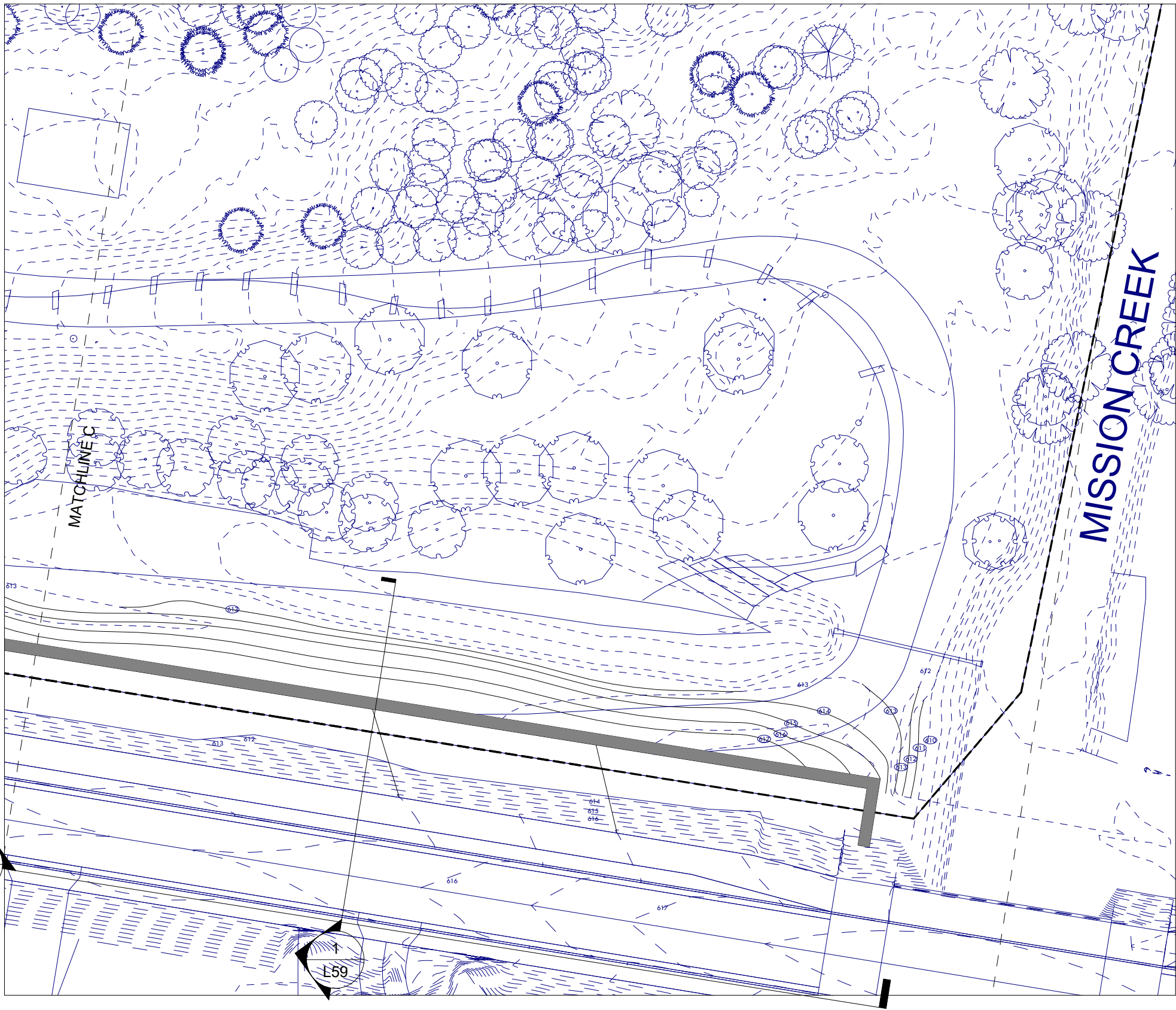
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WALL PLAN ZONE B

STATE PROJ. NO. 6910-107
Sheet No. L43 of LXX Sheets



1 ENLARGED PLAN ZONE C - WALL
1" = 40'-0"

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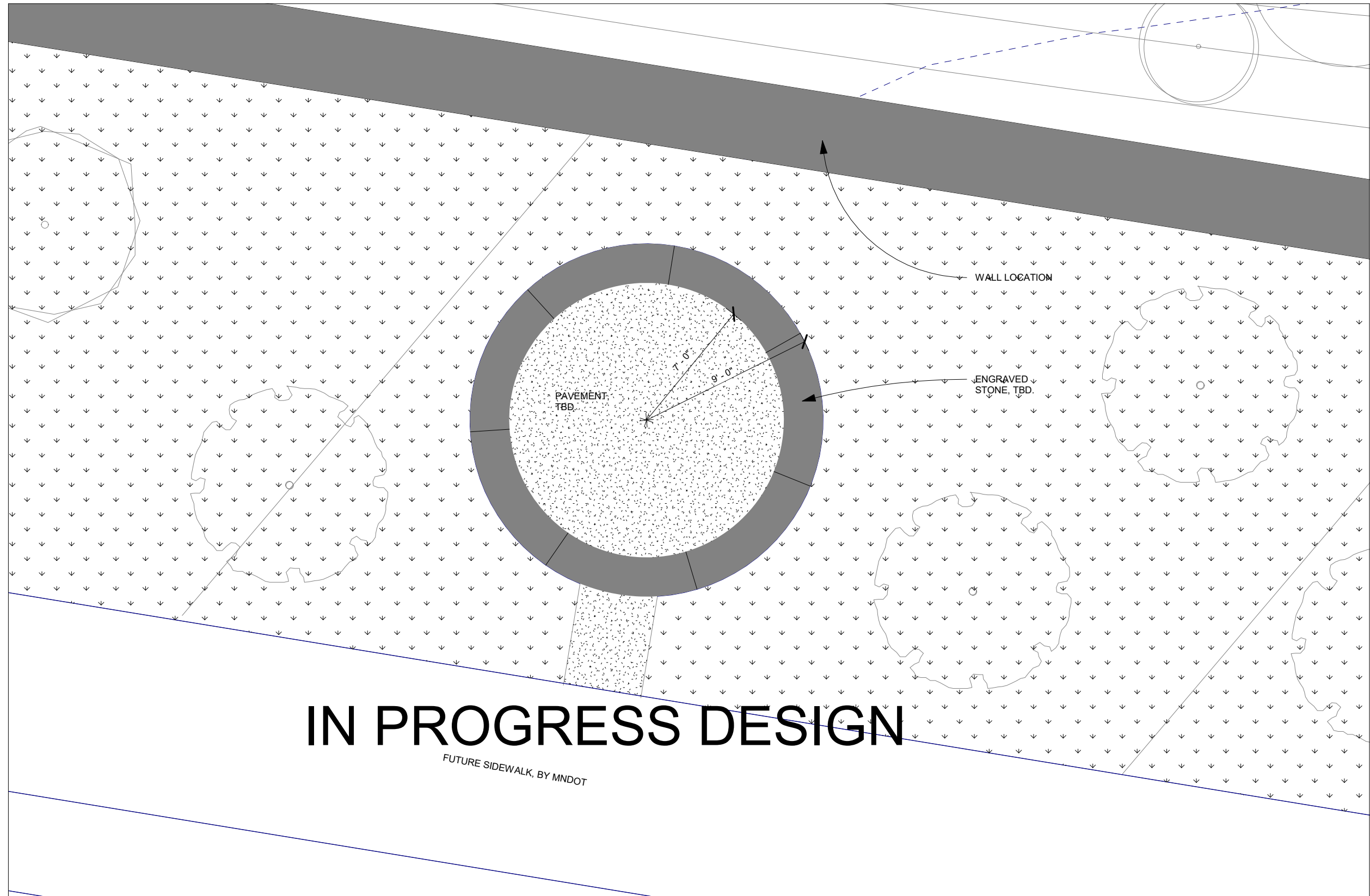
MISSION CREEK CEMETERY
WALL PLAN ZONE C

STATE PROJ. NO. 6910-107
Sheet No. L44 of LXX Sheets

IN PROGRESS - PERMANENT EROSION CONTROL

IN PROGRESS - PERMANENT EROSION CONTROL

IN PROGRESS - PERMANENT EROSION CONTROL



1 WELCOME GATHERING SPACE
3/16" = 1'-0"

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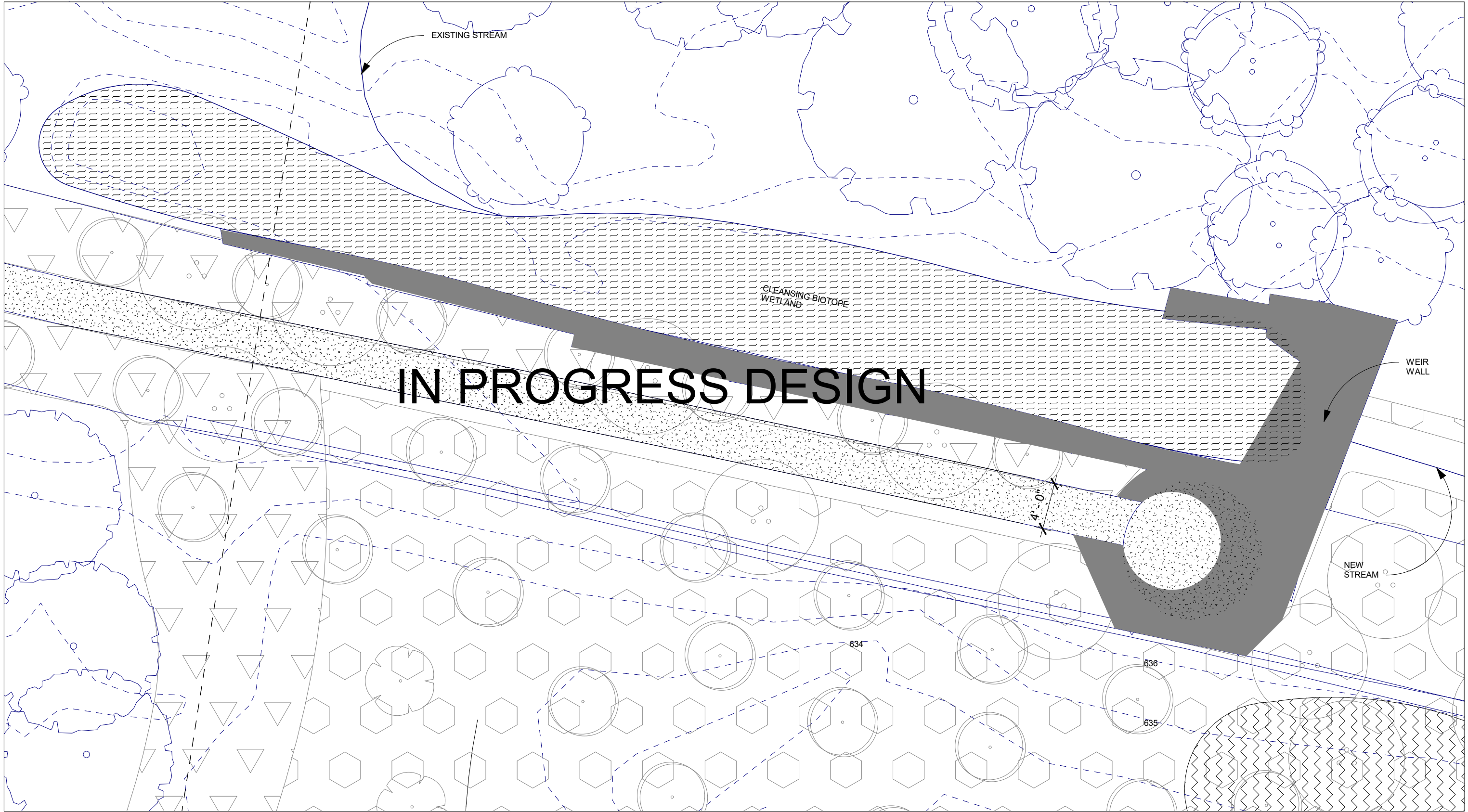
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MISSION CREEK CEMETERY
ENLARGEMENTS

STATE PROJ. NO. 6910-107
Sheet No. L48 of LXX Sheets



IN PROGRESS DESIGN

1 WATER GATHERING SPACE
1/8" = 1'-0"

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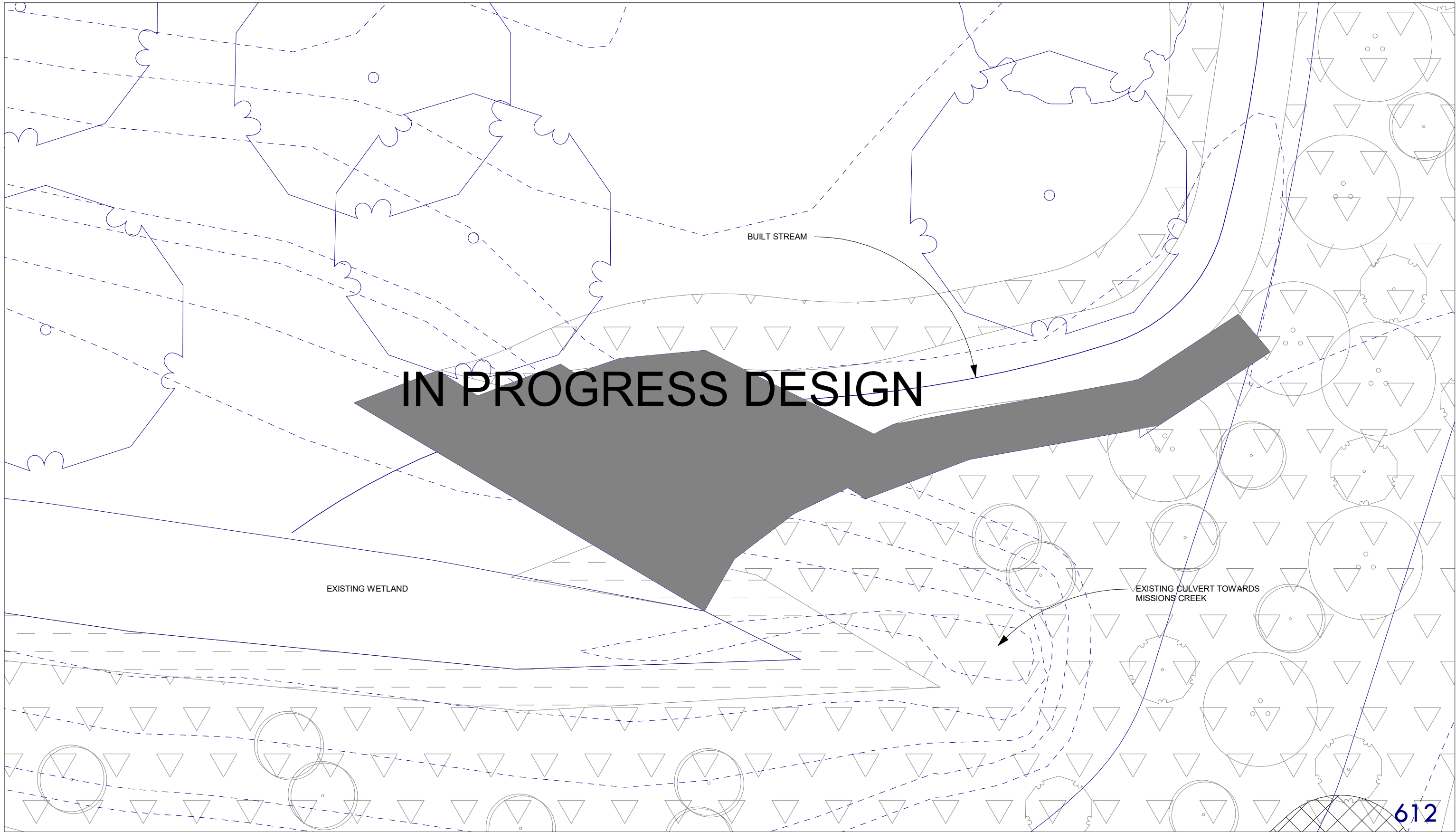
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ENLARGEMENTS

STATE PROJ. NO. 6910-107
Sheet No. L49 of LXX Sheets



612

1 STREAM INLET
1/8" = 1'-0"

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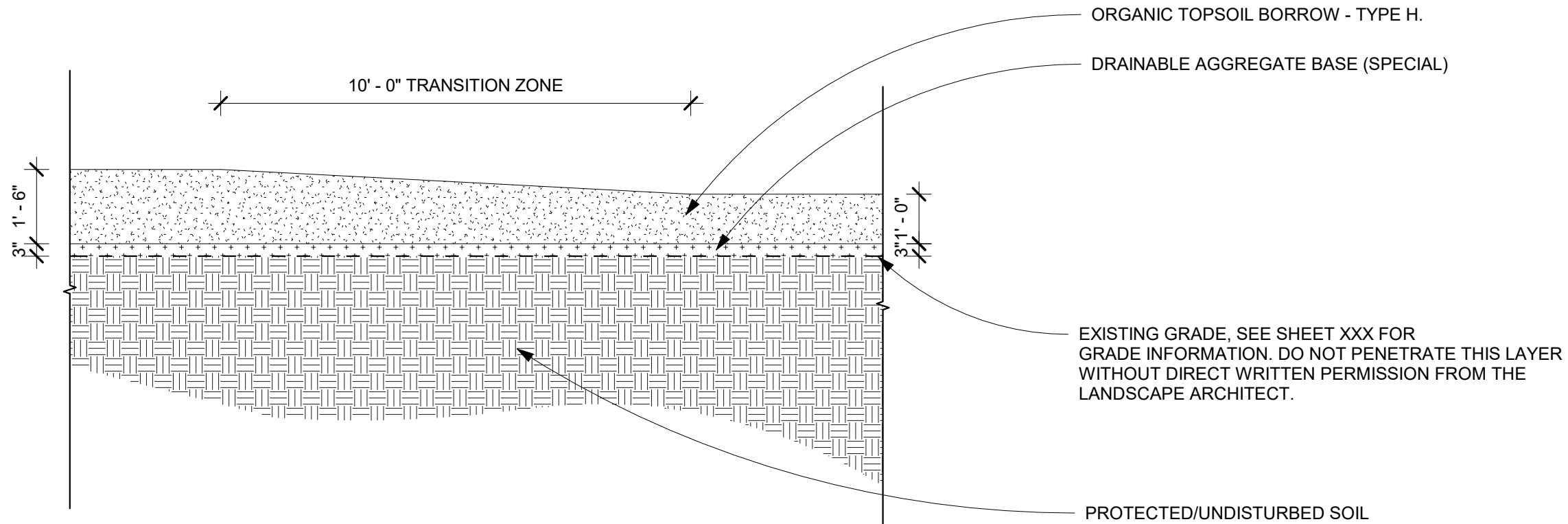
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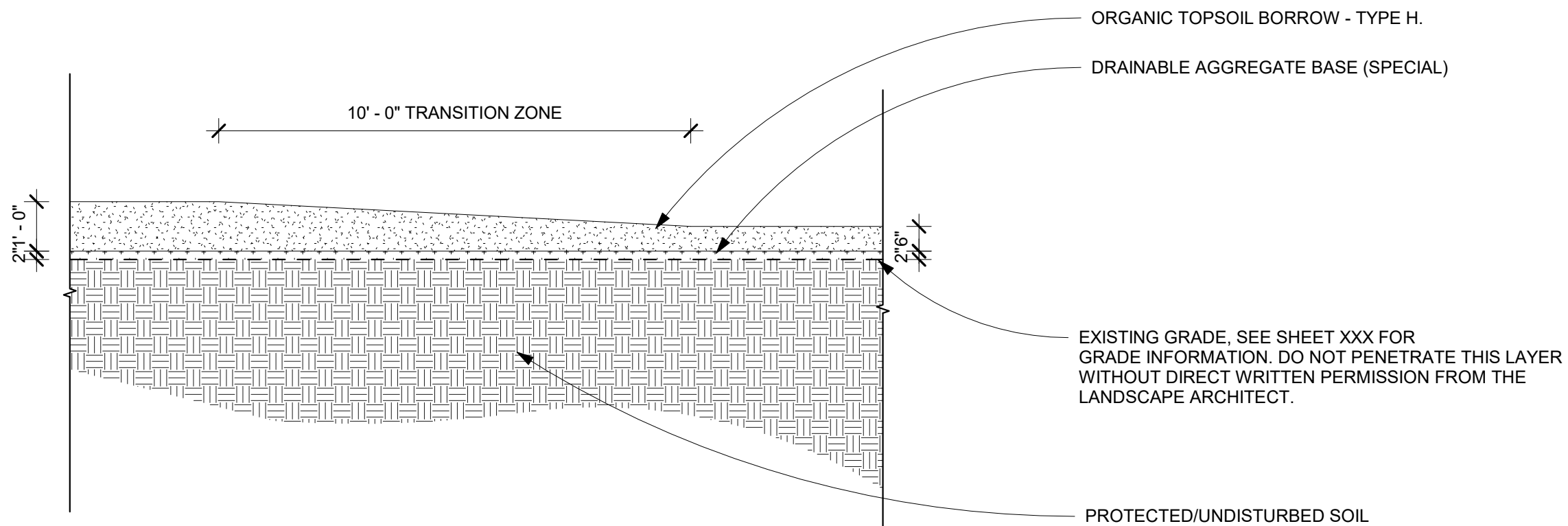
MISSION CREEK CEMETERY
ENLARGEMENTS

STATE PROJ. NO. 6910-107
Sheet No. L50 of LXX Sheets

PLACEHOLDER - ENLARGEMENTS



1 TOPSOIL SECTION - 18" TO 12"
3/8" = 1'-0"



2 TOPSOIL SECTION - 12" TO 6"
3/8" = 1'-0"

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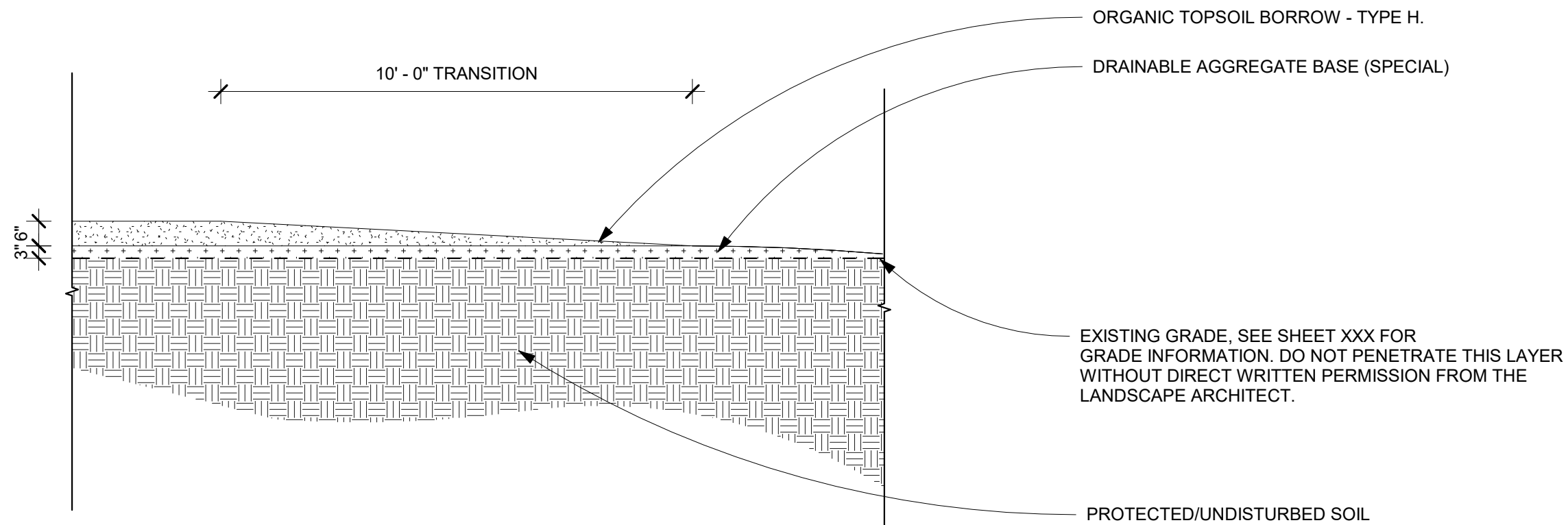
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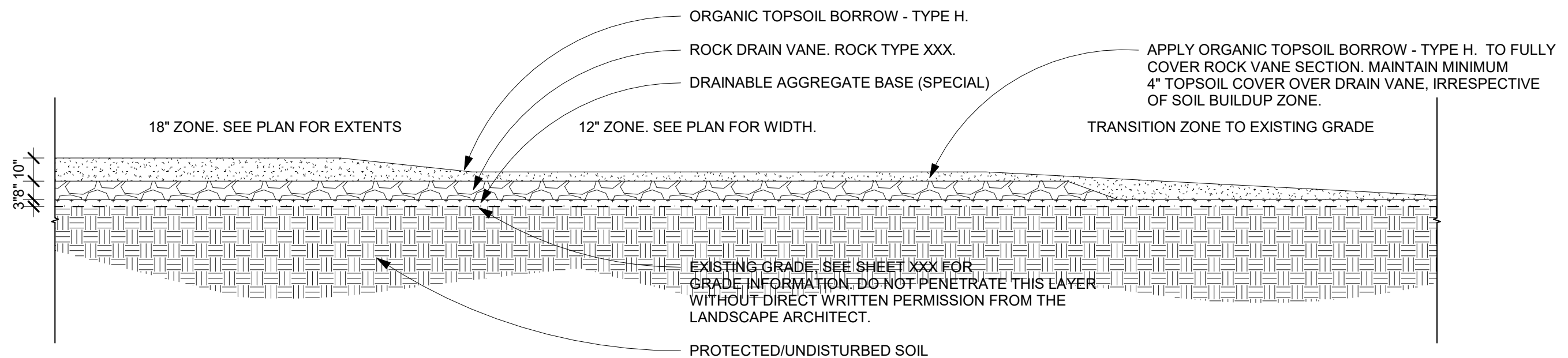
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MISSION CREEK CEMETERY
SECTIONS

STATE PROJ. NO. 6910-107
Sheet No. L52 of LXX Sheets



① TOPSOIL SECTION - 6" TO EXISTING GRADE
3/8" = 1'-0"



② DRAIN VANE TYPICAL CONDITION
1/4" = 1'-0"

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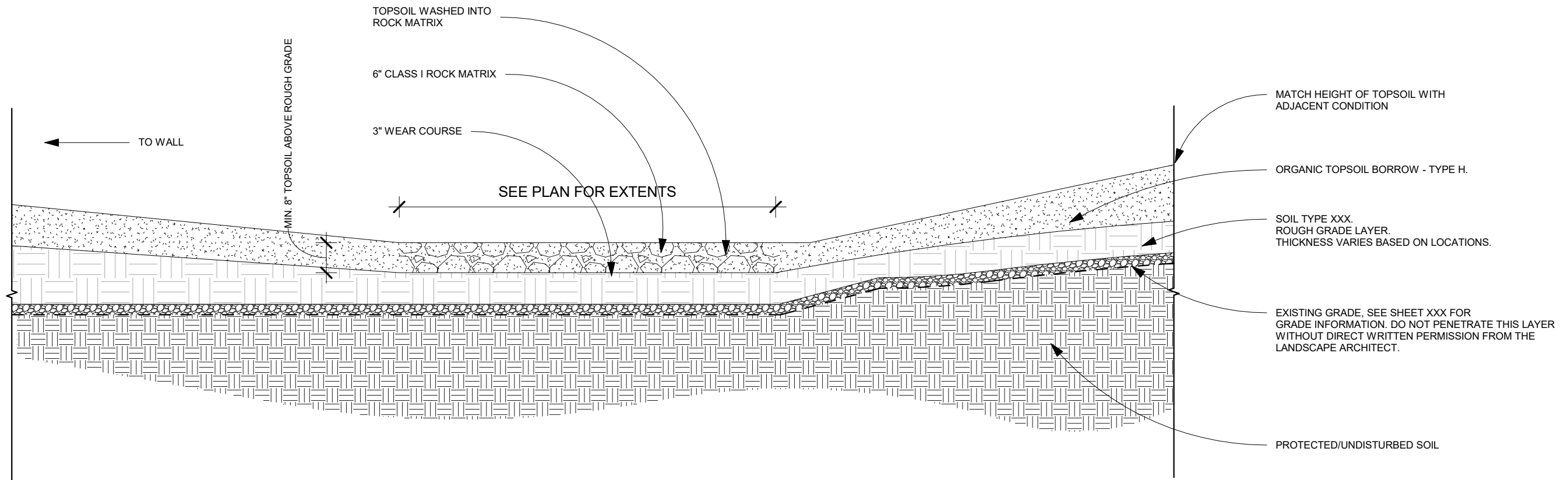
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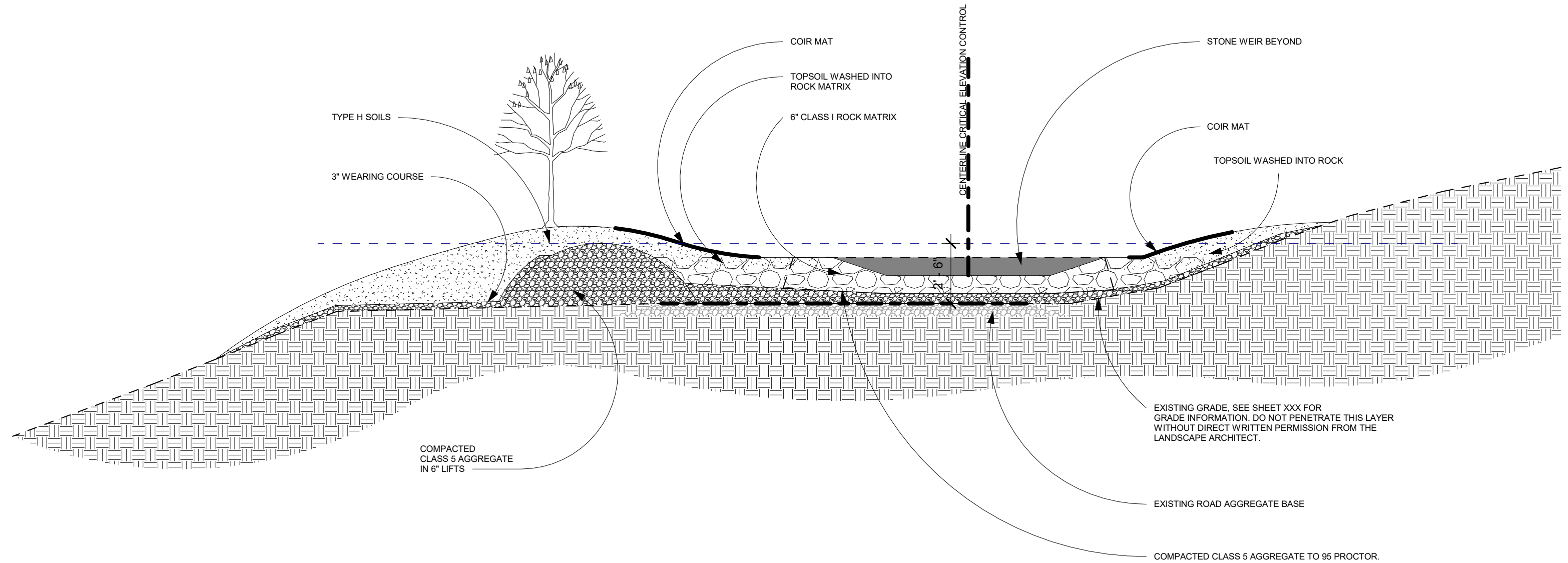
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SECTIONS

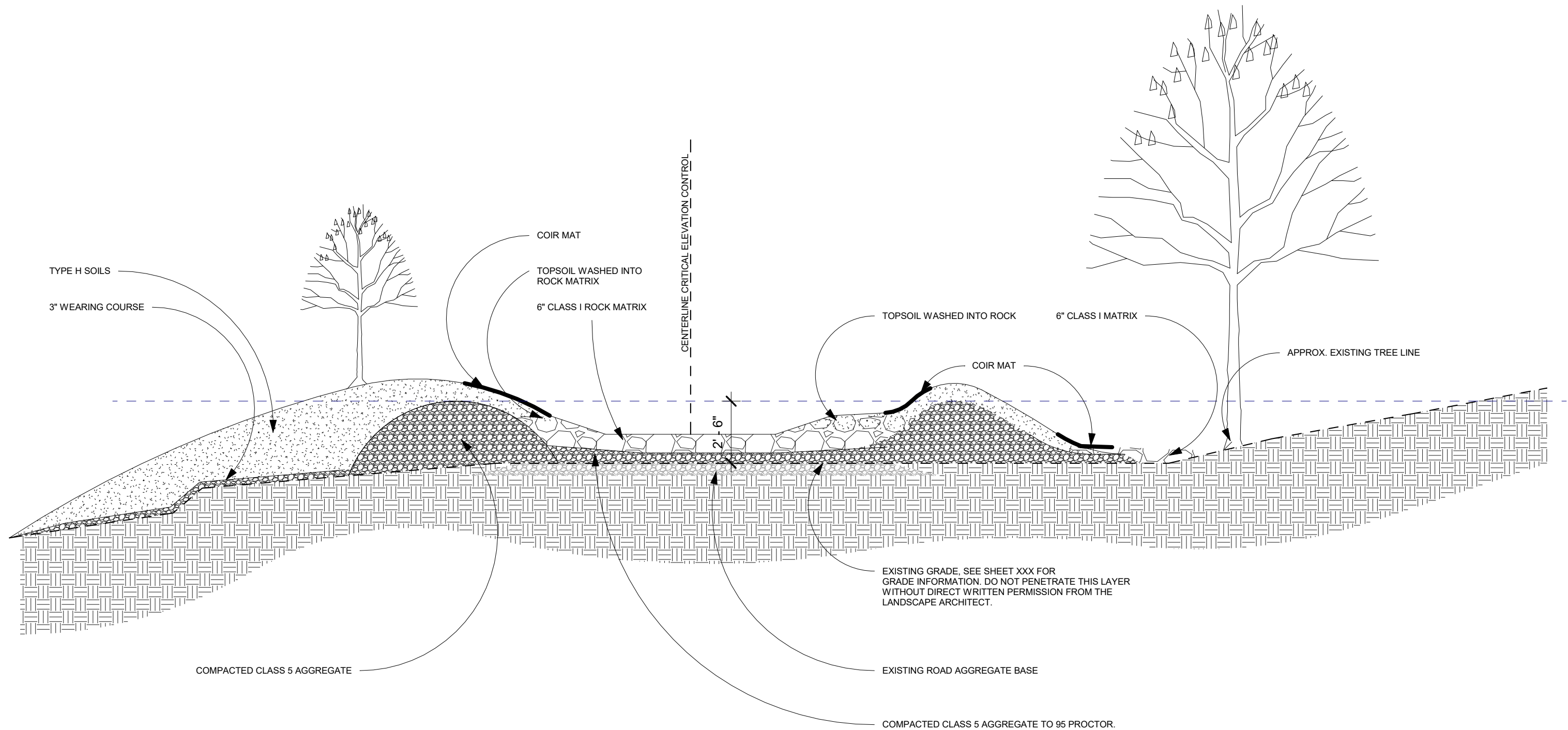
STATE PROJ. NO. 6910-107
Sheet No. L53 of LXX Sheets



1 LOWER SWALE TYPICAL SECTION
3/8" = 1'-0"



1 SECTION 9 - SWALE SECTION A
1/4" = 1'-0"



1 SECTION 10 - SWALE SECTION B
1/4" = 1'-0"

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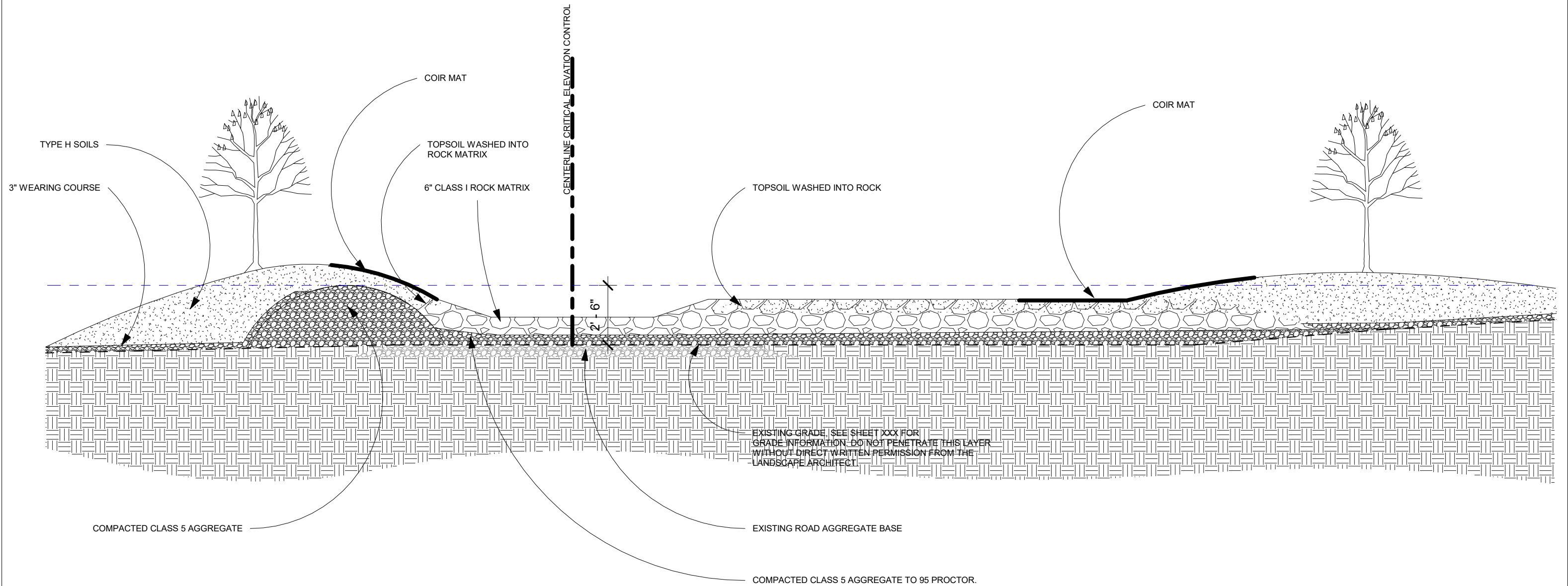
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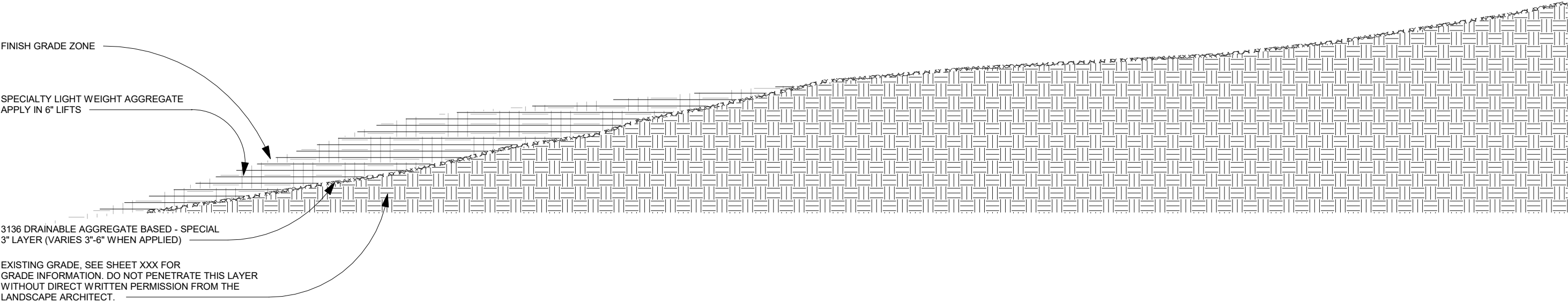
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SECTIONS

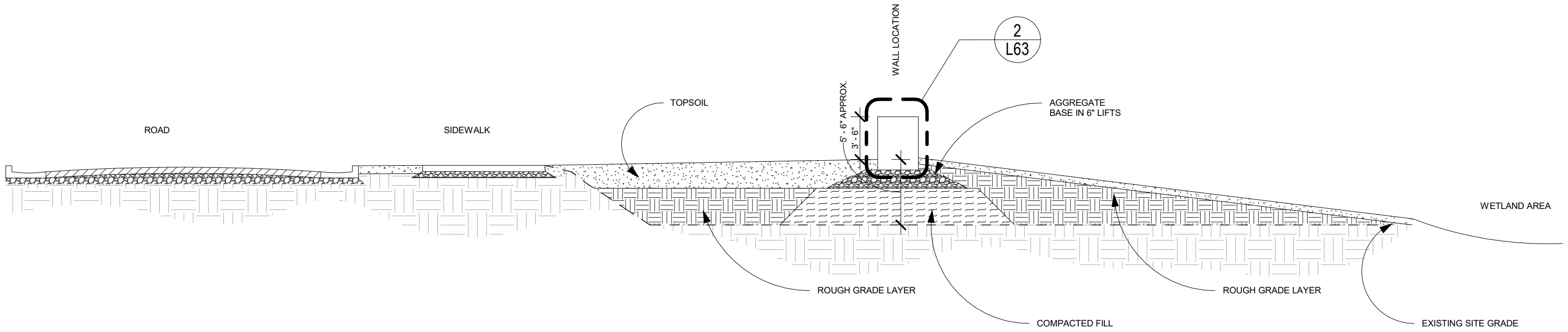
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Sheet No. L56 of LXX Sheets



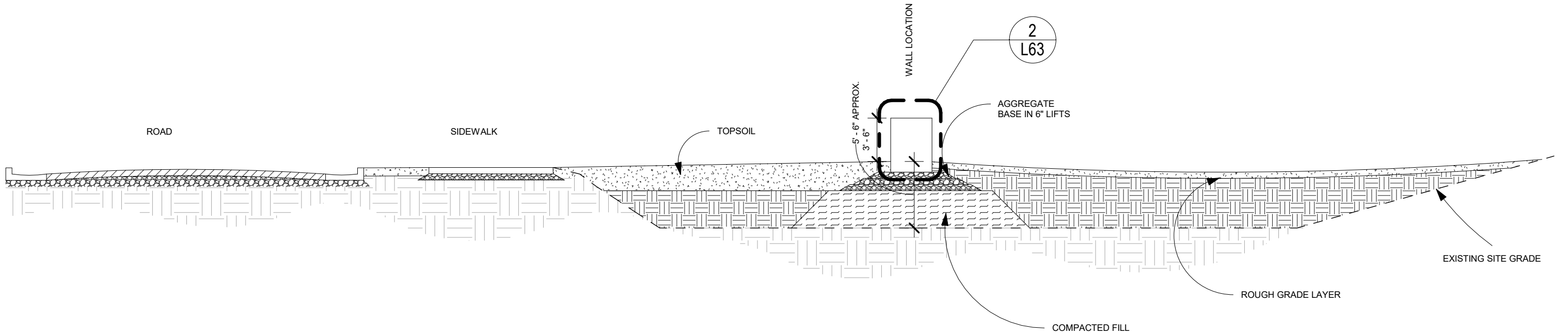
1 SECTION 11 - SWALE SECTION C
1/4" = 1'-0"



1 ROUGH GRADE SECTION
1/8" = 1'-0"



1 WALL SECTION EAST
1/8" = 1'-0"



2 WALL SECTION WEST
1/8" = 1'-0"

WALL ZONE A

WALL ZONE A
WALL ZONE B

TOW APPROX.
+630.5
BOW APPROX.
+627.0

1
L63

TOP OF CURB:
+627.0

1 FULL WALL ELEVATION SECTION A
1" = 20'-0"

DRAWN BY: Author
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MISSION CREEK CEMETERY
ELEVATIONS

STATE PROJ. NO. 6910-107
Sheet No. L60 of LXX Sheets

WALL ZONE A
WALL ZONE B

WALL ZONE B
WALL ZONE C

3
L63

WELCOME SPACE LOCATION

TOW APPROX.
+620.0
BOW APPROX.
+616.5

TOP OF CURB:
+616.0

1

FULL WALL ELEVATION SECTION B

1" = 20'-0"

DRAWN BY: Author
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT
CHECKED BY: Checker UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: _____
PRINTED NAME: _____
DATE: 03/23/20 LIC. NO. #####

URBAN ECOSYSTEMS
LANDSCAPE ARCHITECTS
2500 UNIVERSITY AVE. W #C8
ST. PAUL, MN 55114 | 651.340.8568

m DEPARTMENT OF
TRANSPORTATION

MISSION CREEK CEMETERY
ELEVATIONS

STATE PROJ. NO. 6910-107

Sheet No. L61 of LXX Sheets

WALL ZONE B
WALL ZONE C

WALL ZONE C

TOW APPROX.
+620.5
BOW APPROX.
+617.0

TOP OF CURB
+617.0

1 FULL WALL ELEVATION SECTION C
1" = 20'-0"

DRAWN BY: Author
I HEREBY CERTIFY THAT THIS SHEET WAS
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT
CHECKED BY: Checker UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: _____
PRINTED NAME: _____
DATE: 03/23/20 LIC. NO. #####

URBAN ECOSYSTEMS
LANDSCAPE ARCHITECTS
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ST. PAUL, MN 55114 | 651.340.8568

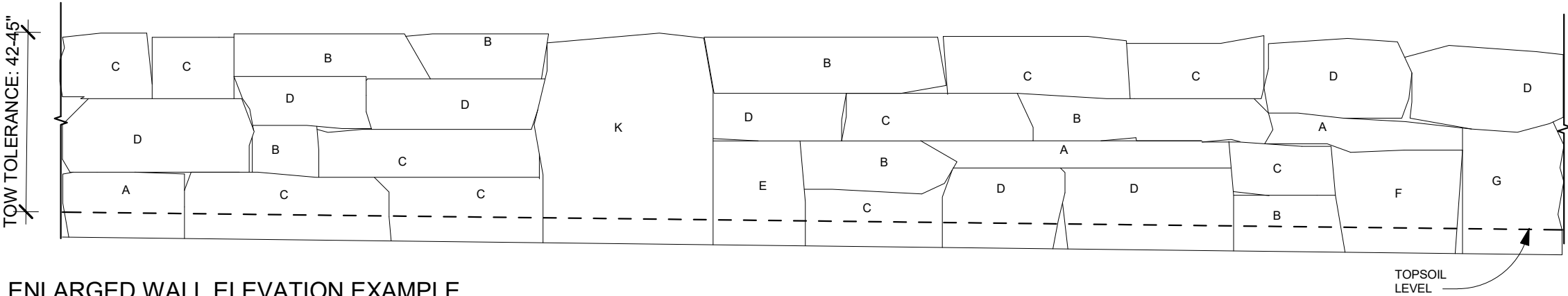
m DEPARTMENT OF
TRANSPORTATION

MISSION CREEK CEMETERY
ELEVATIONS

STATE PROJ. NO. 6910-107
Sheet No. L62 of LXX Sheets

ROCK CATEGORIES (MIN. THICKNESS):

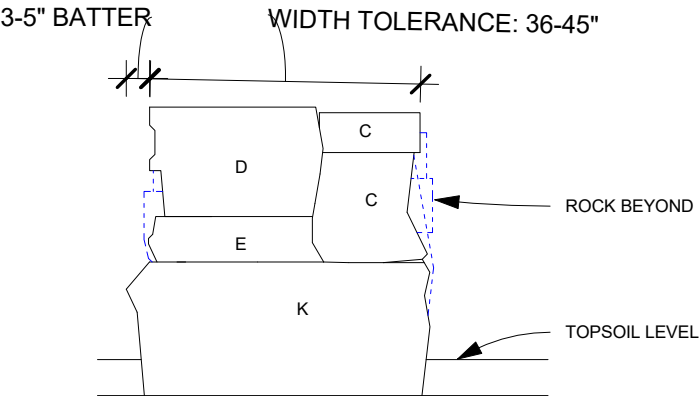
TYPE A: 6-9"	14%
TYPE B: 9-12"	25%
TYPE C: 12-18"	20%
TYPE D: 18-21"	16%
TYPE E: 21-24"	7%
TYPE F: 24-27"	5%
TYPE G: 27-30"	4%
TYPE H: 30-33"	3%
TYPE I: 33-36"	3%
TYPE J: 36-39"	2%
TYPE K: 39-48"	1%



1 ENLARGED WALL ELEVATION EXAMPLE
3/8" = 1'-0"

ROCK CATEGORIES (MIN. DEPTHS):

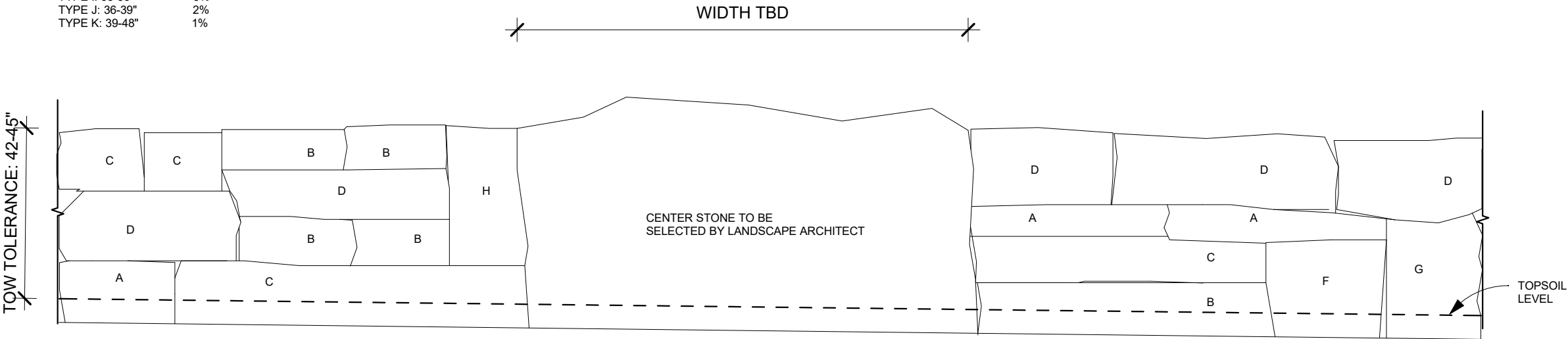
TYPE A: 6-9"	5%
TYPE B: 9-12"	5%
TYPE C: 12-18"	10%
TYPE D: 18-21"	10%
TYPE E: 21-24"	5%
TYPE F: 24-27"	5%
TYPE G: 27-30"	0%
TYPE H: 30-33"	0%
TYPE I: 33-36"	0%
TYPE J: 36-39"	0%
TYPE K: 39-42"	60%



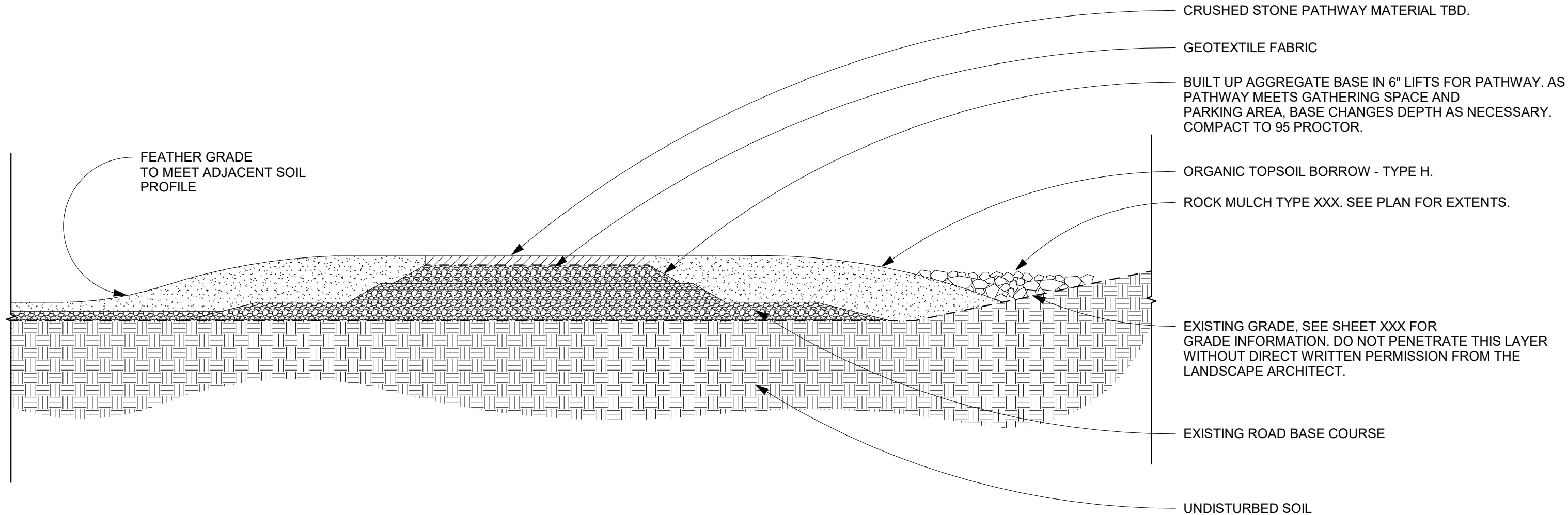
2 ENLARGED WALL SECTION EXAMPLE
3/8" = 1'-0"

ROCK CATEGORIES (MIN. THICKNESS):

TYPE A: 6-9"	14%
TYPE B: 9-12"	25%
TYPE C: 12-18"	20%
TYPE D: 18-21"	16%
TYPE E: 21-24"	7%
TYPE F: 24-27"	5%
TYPE G: 27-30"	4%
TYPE H: 30-33"	3%
TYPE I: 33-36"	3%
TYPE J: 36-39"	2%
TYPE K: 39-48"	1%



3 ENLARGED WALL ELEVATION CENTER STONE
3/8" = 1'-0"



1 PATHWAY SECTION
3/8" = 1'-0"

PLACEHOLDER - DETAILS

PLACEHOLDER - DETAILS

PLACEHOLDER - DETAILS

PLACEHOLDER - DETAILS