



Planning & Development Division
Planning & Economic Development Department

Room 160
 411 West First Street
 Duluth, Minnesota 55802



218-730-5580



planning@duluthmn.gov

File Number	PL 24-006	Contact	Jenn Moses	
Type	MU-I Planning Review	Planning Commission Date	February 13, 2024	
Deadline for Action	Application Date	January 11, 2024	60 Days	March 11, 2024
	Date Extension Letter Mailed	January 24, 2024	120 Days	May 10, 2024
Location of Subject	1012 E 2 nd St			
Applicant	St. Luke's Hospital	Contact	Michael Boeselager	
Agent	Erdman Company	Contact	Neil Bright	
Legal Description	010-3830-04940	Sign Notice Date	January 30, 2024	
Site Visit Date	February 2, 2024	Number of Letters Sent	17	

Proposal

Applicant is proposing to remove the existing helipad on top of the Building A parking garage, and relocate it to the top of Building A.

Staff Recommendation

Staff is recommending Planning Commission approve the Planning Review subject to conditions.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	MU-I	Hospital campus	Institutional
North	MU-I	Hospital campus	Institutional
South	MU-I	Hospital campus	Institutional
East	MU-I	Hospital campus	Institutional
West	MU-I	Hospital campus	Institutional

Summary of Code Requirements

50-15.4 MU-I Planning Review

50-23 Connectivity and Circulation – Focuses on pedestrian and bicycle accommodations. Includes design requirements for skywalks.

50-24 Parking and Loading – Addresses required parking spaces, loading docks, and snow storage.

50-25 Landscaping and Tree Preservation – Landscaping requirements and tree preservation

50-26 Screening, Walls, & Fences – Includes requirements for commercial containers & mechanical equipment

50-29 Sustainability Standards – Sustainability point system for new development.

50-30 Design Standards – Building standards for multi-family, commercial, institutional, and industrial buildings.

50-31 Exterior Lighting – Requires lighting to be downcast, full-cutoff fixtures.

50-37.11 Planning Review – Planning Commission shall approve the Planning Review or approve it with modifications, if it is determined that the application complies with all applicable provisions of this Chapter.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle #4 – Support economic growth sectors. This includes the medical sector. St. Luke's uses the heliport for crucial patient transport.

Future Land Use – Institutional. Applicable to medical, university/college, public school, religious, or governmental campuses.

History:

- FN 11-011, MU-I Planning Review for 1st Phase of Building A
- PL 18-158, MU-I Planning Review for St. Luke's Hospital that included establishment of the helipad in its current location on top of the parking garage for Building A
- PL 22-212, MU-I Planning Review for a vertical expansion of Building A

Discussion

Staff finds that:

- 1) The existing helipad on the top of the Building A parking garage was approved in 2018; at that time, detailed analyses of the noise and wind resulting from the helipad were conducted, as the helipad was significantly closer to ground level than its previous location on the Northland Medical ramp. The analyses showed that while periodic noise level increases were expected, and wind gusts were possible, neither of these impacts approached any safety threshold. St. Luke's representatives stated at the time that eventually the helipad would be relocated to the top of Building A, as this location would better suit hospital operations and be located further above the ground level.
- 2) In 2022, a MU-I Planning Review was completed for the long-planned vertical expansion of Building A; this added an "interstitial floor" of mechanicals as well as three additional levels with patient rooms. This expansion is currently under construction.
- 3) The current proposal involves removal of the helipad on top of the parking garage. A new helipad would be established on top of Building A, approximately 85' feet higher and 60' closer to the lake than the current helipad. This will result in fewer impacts to neighbors.
- 4) As Building A was constructed with plans for a future helipad, no additional structural support or roof access is needed. The helicopter landing area will be approximately 6' above the roof level, but this will be limited only to the landing site, and the overall height of the building will not change.
- 5) The building height with the expansion underway will be 111'. As Building A is located further than 200' from MU-N or any residential district, the maximum height allowed in this location is 300', provided that no more than 15% of St. Luke's property zoned MU-I may exceed 120'.
- 6) The only additional exterior lighting to be installed will be that lighting necessary to meet FAA regulations.
- 7) UDC sections including parking, landscaping, screening, and sustainability do not apply to this project.
- 8) No public, agency, or City comments have been received.
- 9) According to UDC 50-37.1.N, an approved Planning Review will expire if the project or activity authorized by the permit is not begun within 1 year.

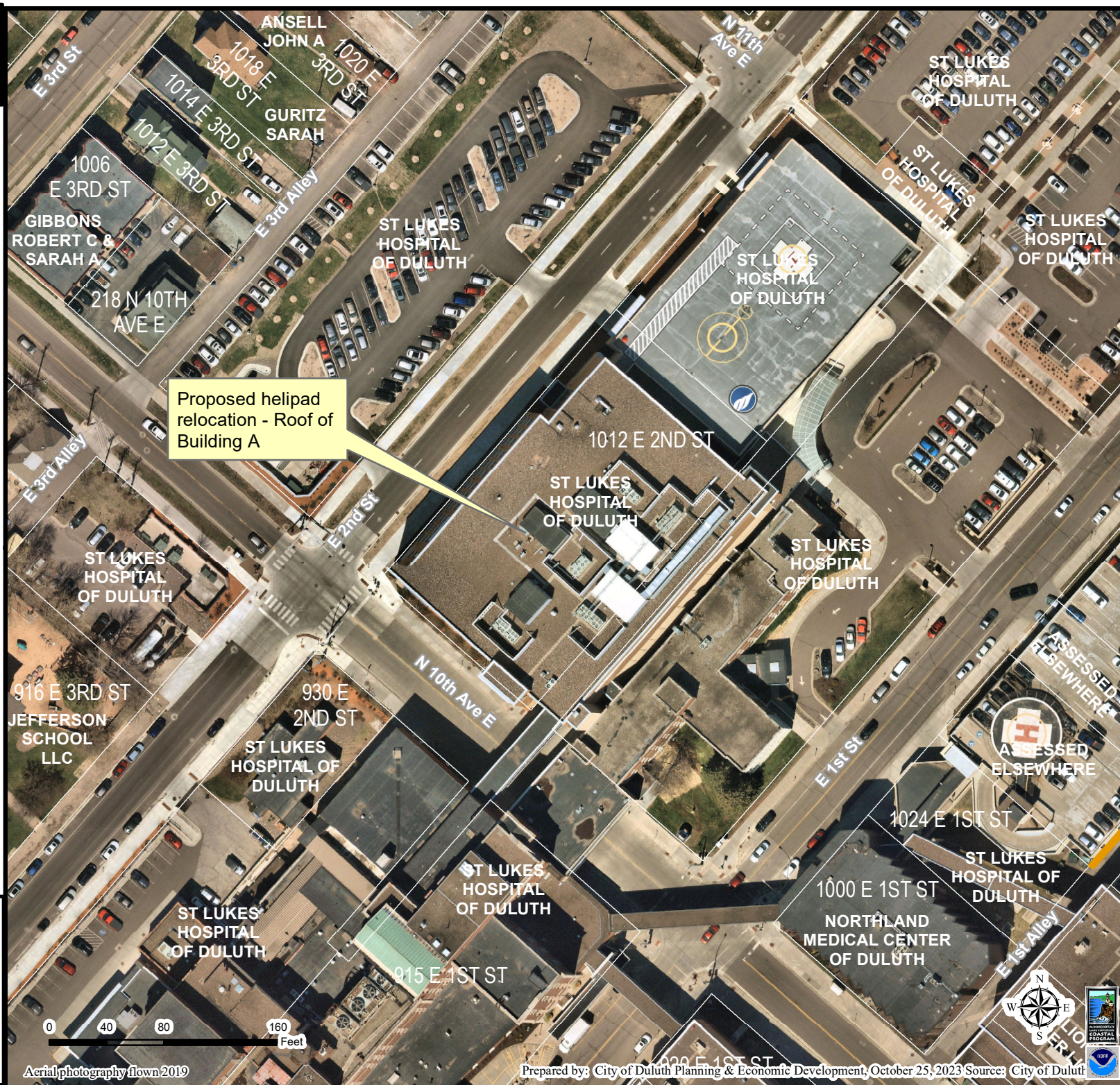
Staff Recommendation

Based on the above findings, Staff recommends that Planning Commission approve the MU-I Planning Review with the following conditions:

1. The project be constructed, limited to, and maintained according to the plans and building elevations submitted with this application.
2. Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission approval; however, no such administrative approval shall constitute a variance from the provisions of Chapter 50.



PL 24-006
Planning Review
St. Luke's Hospital



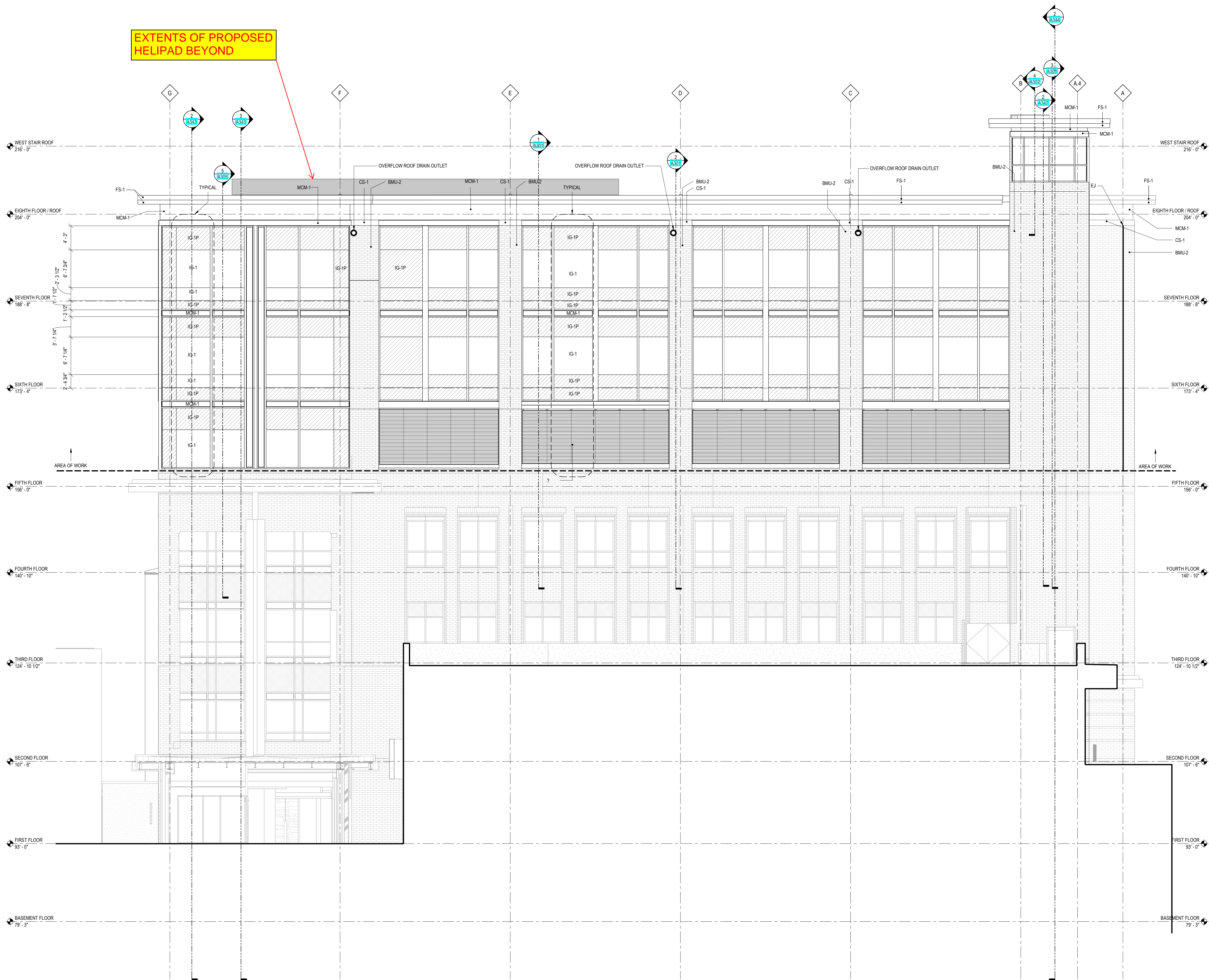
The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial photography flown 2019

Prepared by: City of Duluth Planning & Economic Development, October 25, 2023 Source: City of Duluth



8/10/2023 5:26:24 AM BM 360/167XXXX - St Lukes Campus - Duluth MN 55805 St Lukes_Visual-Exp_A_R21.rvt



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS

- 04 2000 - UNIT MASONRY
BMU-2 BRICK MASONRY UNIT - MATCH EXISTING
- 04 7300 - CAST STONE
CS-1 CAST STONE
- 07 2400 - EXTERIOR INSULATION AND FINISH SYSTEM - EIFS
EFS-1 MATCH EXISTING
- 07 4213 - METAL WALL PANELS
CMP-1 CORRUGATED METAL PANEL - METALLIC SILVER
- 07 4213.23 - ALUMINUM COMPOSITE METAL PANEL
MCM-1 ALUMINUM COMPOSITE METAL PANELS - SILVER
METALLIC MICA
- NOTE:
ALIGN EIFS REVEALS WITH ARCHITECTURAL ELEMENTS AS SHOWN UNLESS NOTED OTHERWISE
- 07 7100 - MANUFACTURED ROOF SPECIALTIES
DS-1 DOWNSPOUT
- ALUMINUM COPING CAP
MC-1 METAL COPING - METALLIC SILVER/MATCH EXISTING
FS-1 ROOF EDGE FASIA
- 08 4413 - GLAZED ALUMINUM CURTAINWALL
CW-1 X" ALUMINUM CURTAIN WALL SYSTEM
CW-2 X" ALUMINUM CURTAIN WALL SYSTEM
- CWC-1 CURTAINWALL STRUCTURAL GLAZED MULLION CAP
CWC-2 CURTAINWALL FULLY CAPTURED MULLION CAP
CWC-3 CURTAINWALL METAL PANEL FIN
- MP-1 CURTAINWALL METAL PANEL INFILL
- 08 8000 - GLAZING
- IG-1 VISION GLASS WITH LOW REFLECTIVITY
- IG-1P SPANDREL GLASS WITH LOW REFLECTIVITY
- 08 9100 - LOUVERS
LVR-1 LOUVER
- 09 1000 - PAINTS
P-1 HIGH PERFORMANCE PAINT ON STEEL (TO MATCH ACM-1)
- MISCELLANEOUS
CJ CONTROL JOINT
EJ EXPANSION JOINT



One Erdman Place, Suite 300
Madison, Wisconsin 53717
Phone: (608) 410-5000



1012 E. SECOND ST.
DULUTH, MN. 55805

Architectural Services Provided
ERDMAN COMPANY

Engineering Services Provided By:
ERDMAN COMPANY

Contractor Services Provided By:
ERDMAN COMPANY
Lic. No. IR652277

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Signature:

Daniel Wayne Dalk
Typed or Printed Name:

Daniel Wayne Dalk

Date:

07/28/2023

License Number:

61433

2	CR004	07-28-23
1	PERMIT SET	01-30-23
No.	Description	Date
Document Release		

Sheet Name

**EXTERIOR
ELEVATION -
EAST**

Dm:SRILEY Chk:TDUHR

Sheet Number

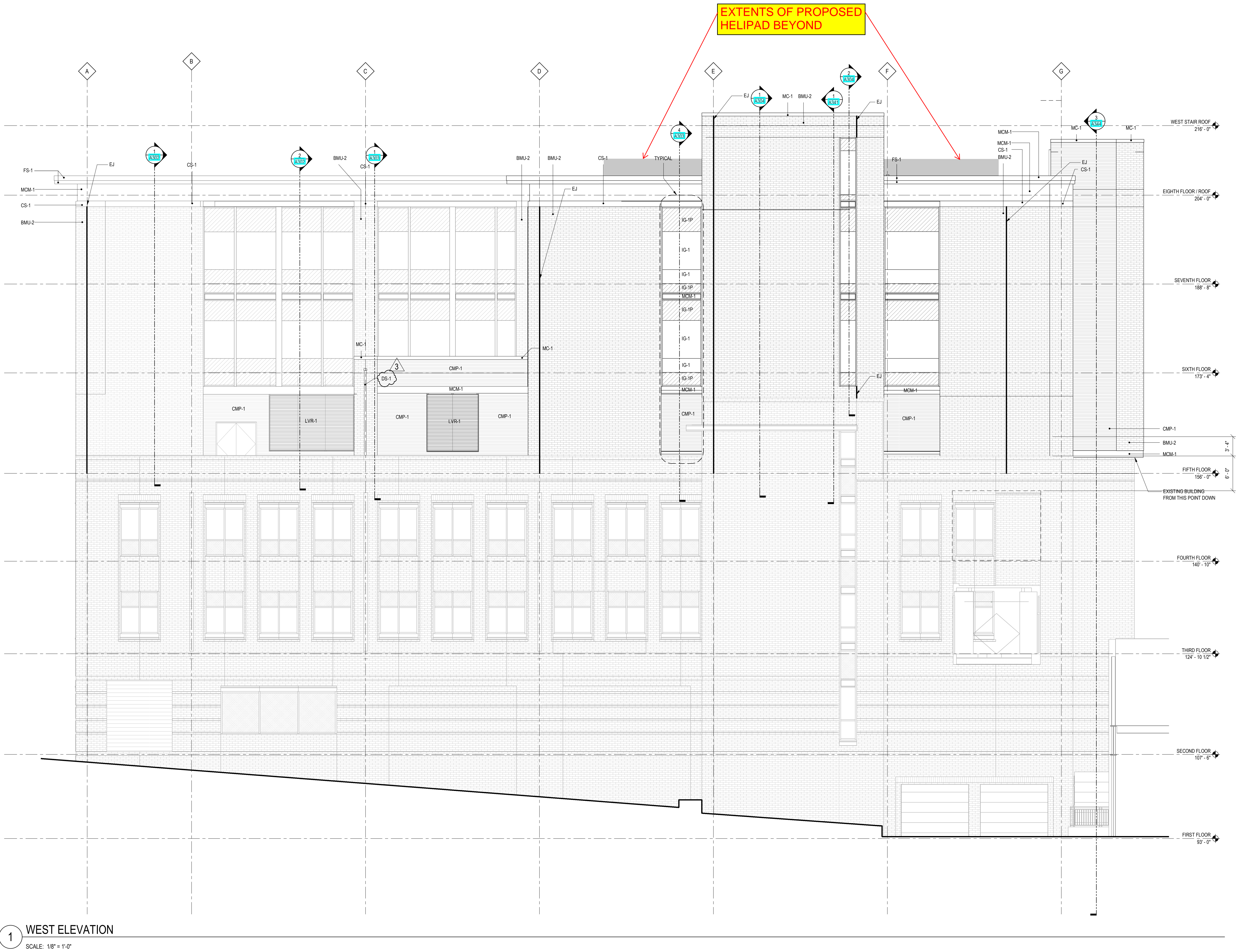
A203

JOB #672420

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EXTERIOR MATERIALS

- 04 2000 - UNIT MASONRY
BMU-2 BRICK MASONRY UNIT - MATCH EXISTING
- 04 7300 - CAST STONE
CS-1 CAST STONE
- 072400 - EXTERIOR INSULATION AND FINISH SYSTEM - EIFS
EFS-1 MATCH EXISTING
- 074213 - METAL WALL PANELS
CMP-1 CORRUGATED METAL PANEL - METALLIC SILVER
- 074213.23 - ALUMINUM COMPOSITE METAL PANEL
MCM-1 ALUMINUM COMPOSITE METAL PANELS - SILVER
METALLIC MICA
- NOTE:
ALIGN EIFS REVEALS WITH ARCHITECTURAL ELEMENTS AS SHOWN UNLESS NOTED OTHERWISE
- 077100 - MANUFACTURED ROOF SPECIALTIES
DS-1 DOWNSPOUT
- ALUMINUM COPING CAP
MC-1 METAL COPING - METALLIC SILVERMATCH
EXISTING
FS-1 ROOF EDGE FASIA
- 084413 - GLAZED ALUMINUM CURTAINWALL
CW-1 X" ALUMINUM CURTAIN WALL SYSTEM
CW-2 X" ALUMINUM CURTAIN WALL SYSTEM
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CWC-3 CURTAINWALL METAL PANEL FIN
- MP-1 CURTAINWALL METAL PANEL INFILL
- 088000 - GLAZING
- IG-1 VISION GLASS WITH LOW REFLECTIVITY
- IG-1P SPANDREL GLASS WITH LOW REFLECTIVITY
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- 091000 - PAINTS
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CJ CONTROL JOINT
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Daniel Wayne Delk

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Daniel Wayne Delk

Date:

07/28/2023

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3	CR006	12-18-23
2	CR004	07-28-23
1	PERMIT SET	01-30-23
No.	Description	Date
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Sheet Name

**EXTERIOR
ELEVATION -
WEST**

Dwn:SRILEY Chk:TDUHR

Sheet Number

A204

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C:\Users\Project\Documents\1012 E. Second St. Helipad\1012 E. Second St. Helipad.dwg

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Phone: (608) 418-5000

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Daniel Wayne Delk

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07/28/2023

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2	CB004	07-28-23
1	PERMIT SET	01-30-23
No.	Description	Date

Document Release

HELIPAD DATA
DESIGN AIRCRAFT CRITERIA
TYPE: AW-139
TYPE: OVERALL LENGTH: 54.7'
ROTOR DIA: 41.6'
MAX TAKEOFF WEIGHT: 15,000 lbs
HELIPAD DIMENSIONS & LOCATION
ACTUAL TLOF: 55'
ACTUAL FATO: 92'-3"
ACTUAL SAFETY AREA: 123'-0"
LAT: 42° 57' 13"
LONG: 85° 37' 23"
APPROACH/DEPARTURE
INGRESS: 225°/045°(TRUE)
DEGRESS: 225°/045°(TRUE)
HELIPAD SURFACE
TYPE: ALUMINUM
PREVAILING WINDS
DIRECT1: WNW
DIRECT2: WSW

Sheet Name

**HELISTOP
FLIGHT PATH
ARRANGEMENT**

Dn: DTB

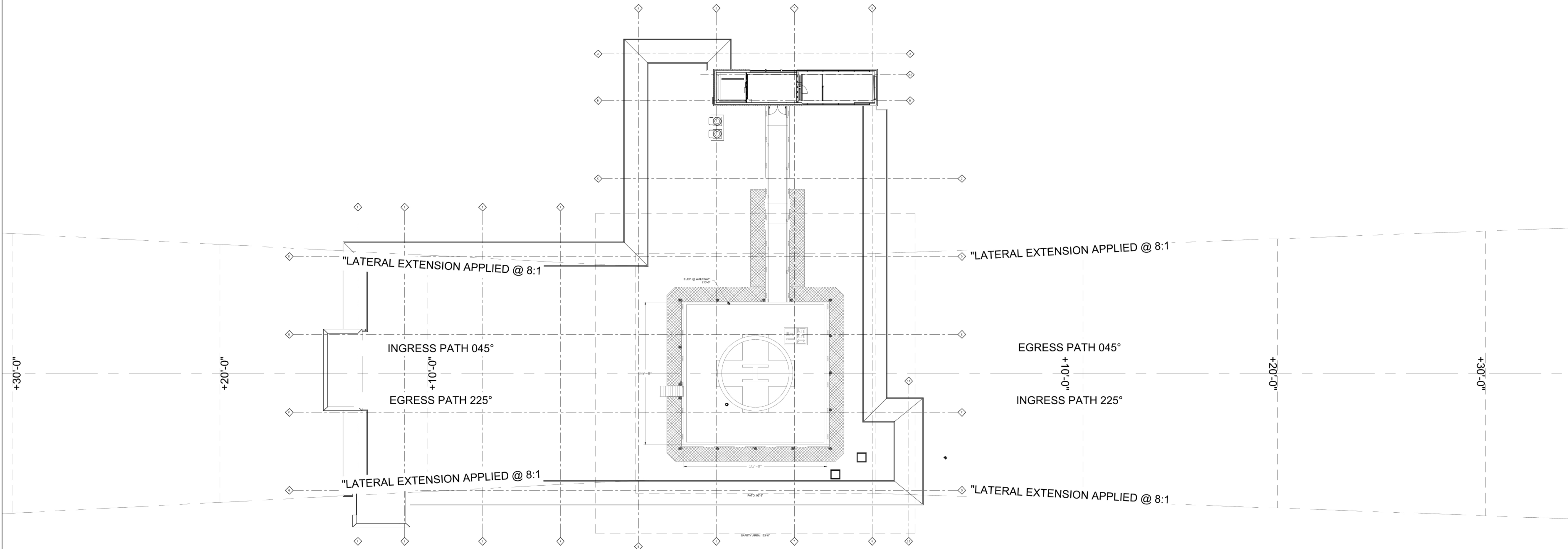
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Sheet Number

H-1

JOB #S01049

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1 HELISTOP FLIGHT PATH ARRANGEMENT

SCALE: 1/16" = 1'-0"

8/10/2023 1:34:53 PM B:\360\6752000 - St. Luke's Campus - Duluth\1012 E. Second St. Helipad\1012 E. Second St. Helipad.dwg

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Daniel Wayne Delk

Date:

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License Number:

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2	CB004	07-28-23
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Sheet Name
**HELISTOP
GENERAL
ARRANGEMENT**

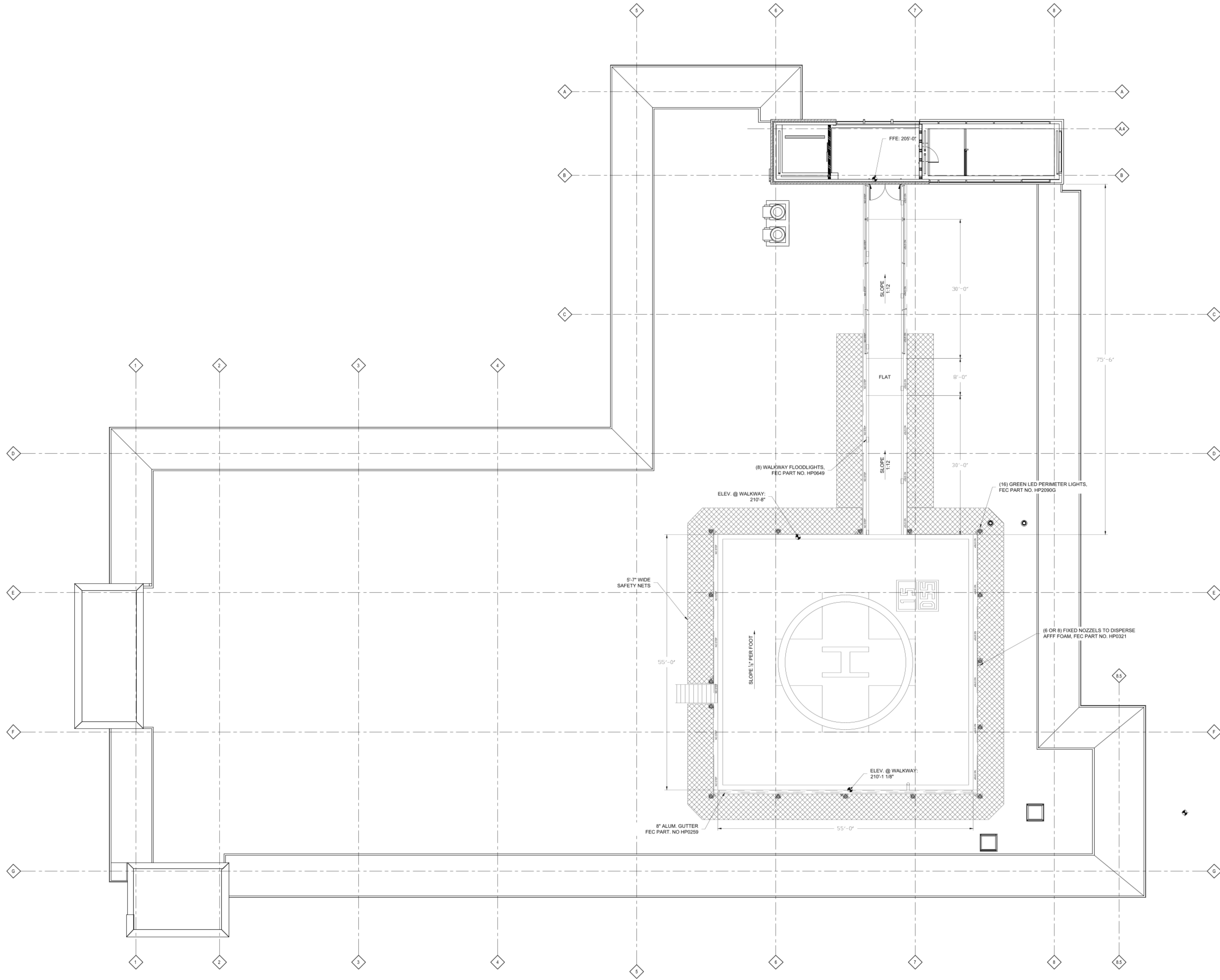
Dn: DTB Chk: JJS

Sheet Number

H-2

JOB #S01049

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GENERAL NOTES:

- HELISTOP DIMENSIONS AND CLEARANCES ARE BASED ON FAA AC 150/5390-2D REQUIREMENTS FOR AN AUGUSTA AW-139 AS THE DESIGN HELICOPTER
- VFR APPROACH/DEPARTURE SLOPE 8:1, TRANSITION SURFACE 2:1
- HELISTOP LIGHTING LAYOUT TO MEET FAA ACC 150/5390-2D, CHAPTER.2 SEE SHEETS E-1, E-2, AND E-3, E-4, E-5, AND E-6 FOR DETAILS
- HELISTOP DECK MARKINGS AND OTHER PAINT SCHEMES TO MEET FAA AC 150/5390-2D CHAPTER.2 SEE PA-1 AND PA-2 FOR DETAILS
- HELISTOP SAFETY NET EQUIPMENT TO BE DESIGNATED TO MEET AND/OR EXCEED FAA AC 150/5390-2D, CHAPTER.2, AND BUILDING CODE THAT APPLIES. SEE SHEETS SN-1 THROUGH SN-6 FOR DETAILS

PROJECT NOTES:

- FUEL/WATER SEPARATOR, FEC PART NO. HP0285 TO BE SUPPORTED FROM HELISTOP STRUCTURAL STEEL. SEE SHEETS P-1, P-2 AND P-3 FOR DETAILS OF THE FUEL/WATER SEPARATOR
- AFFF FOAM FIRE SUPPRESSION SKID, FEC PART NO. HP0296, TO BE LOCATED IN HEATED MECHANICAL SPACE. SEE SHEET FS-1, FS-2 AND FS-3 FOR DETAILS.
- HYDRONIC SNOWMELT SYSTEM, FEC PART NO. HPO300-2S, HP0300-2H TO BE LOCATED IN HEATED MECHANICAL SPACE. SEE SHEETS SM-1, SM-2 AND SM-3 FOR DETAILS.
- ALL HORIZONTAL STEEL FOR DECK AND WALKWAY TO BE DESIGNED BY FEC VERTICAL SUPPORT STEEL FOR DECK AND WALKWAY TO BE DESIGNED AND PROVIDED BY OTHERS

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Signature:

Typed or Printed Name:

Daniel Wayne Delk

Date:

07/28/2023

License Number:

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2	CB004	07-28-23
1	PERMIT SET	01-30-23
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Sheet Name

**HELISTOP
ARRANGEMENT
AT ROOF**

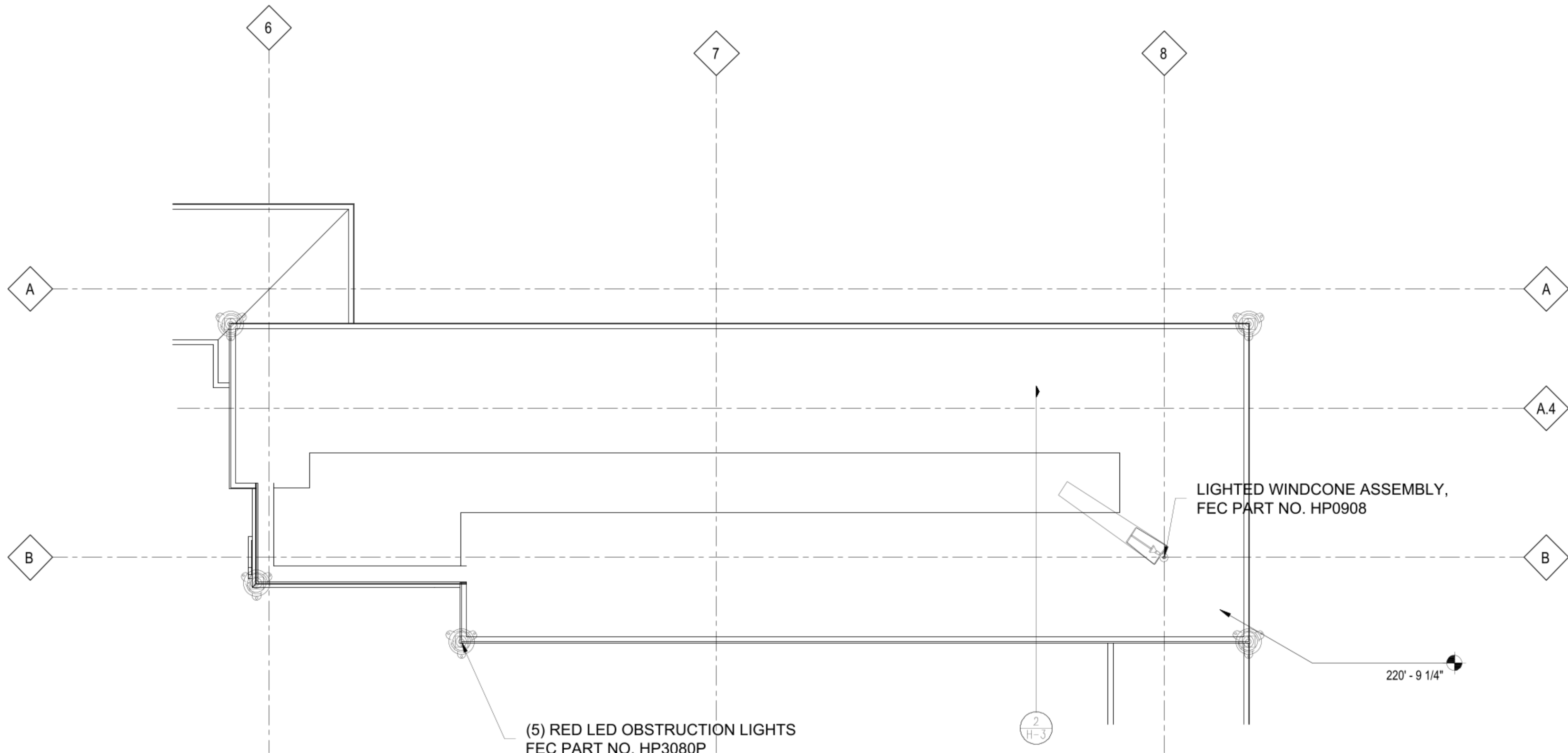
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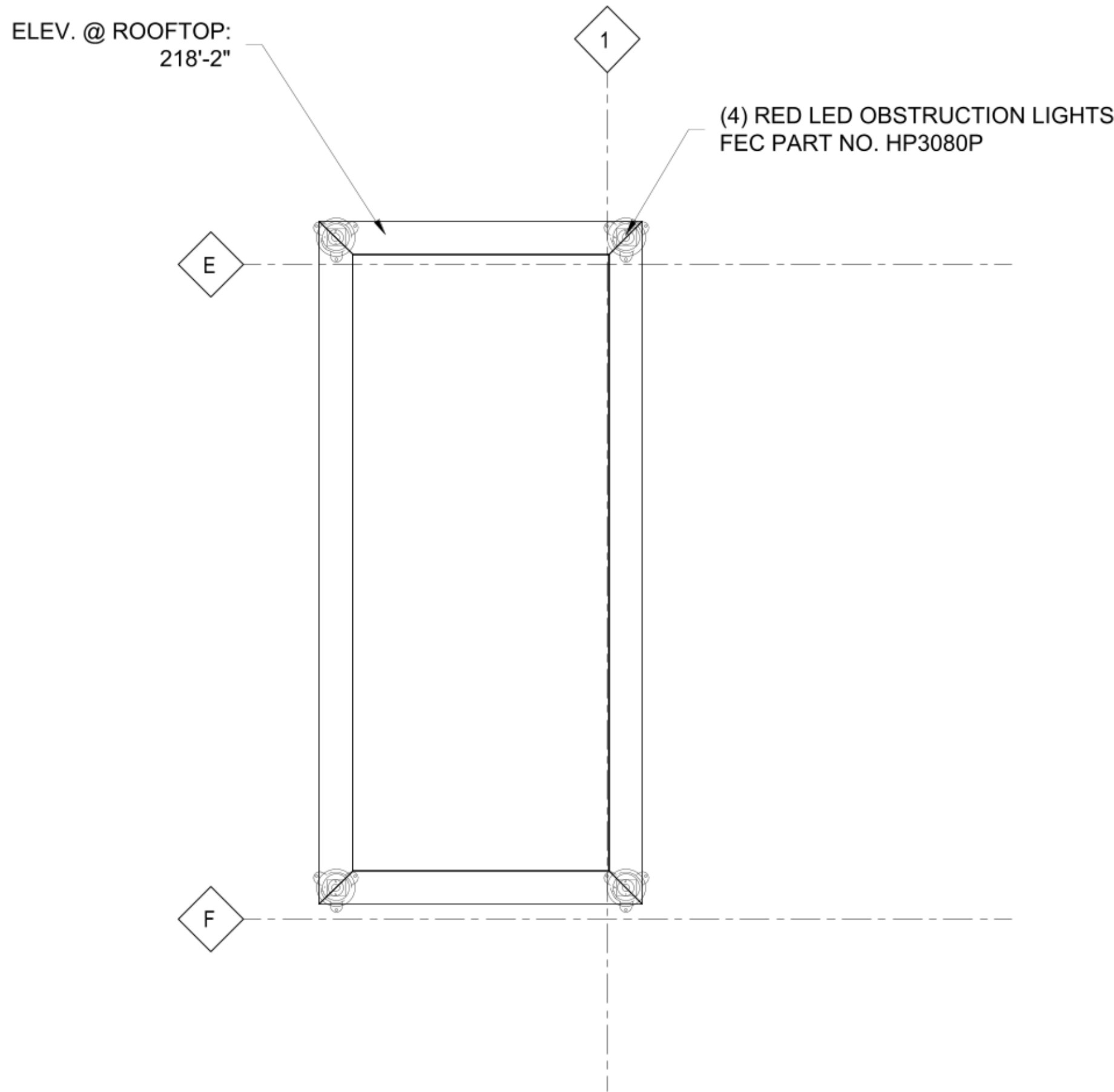
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JOB #S01049

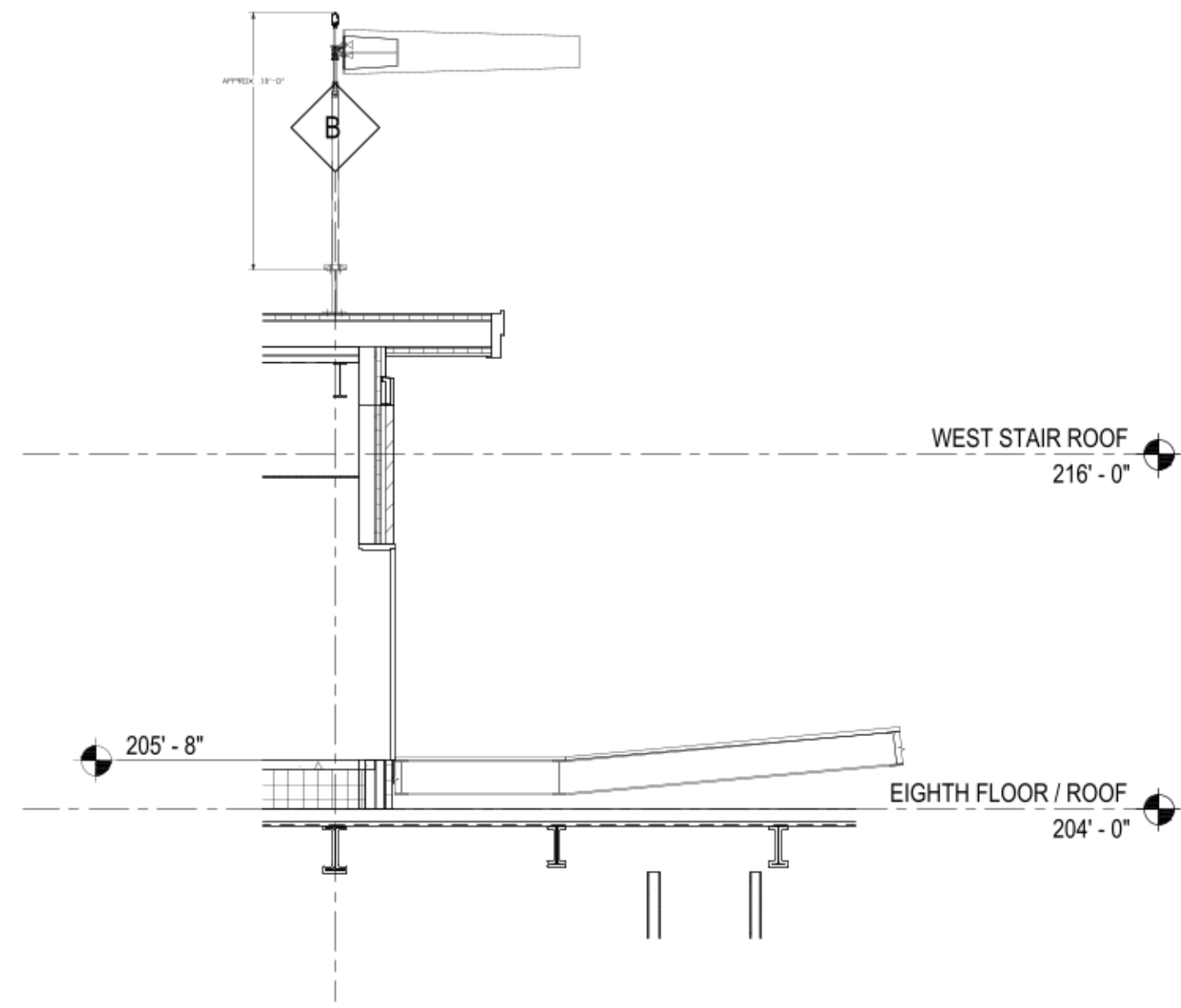
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1
H-3
ELEVATOR PENTHOUSE ROOF



3
H-3
EXIT STAIRCASE TOWER



2
H-3
SECTION VIEW AT ELEVATOR TOWER

PARKING GARAGE WITH HELISTOP

1012 EAST 2ND STREET
DULUTH, MN 55805

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Consultant Services Provided By:
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Signature: _____

Typed or Printed Name:

ROBERT PRATT

Date:

5/14/2019

License Number:

56538

5	RECORD SET	01/15/21
4	CB003 - PERMIT REVISIONS	06/07/19
3	PHASE 1 CB001	05/14/19
2	PHASE 1 PERMIT SET ARCH. RESUBMIT	05/14/19
1	PHASE 1 PERMIT SET	03/18/19
No.	Description	Date

Document Release

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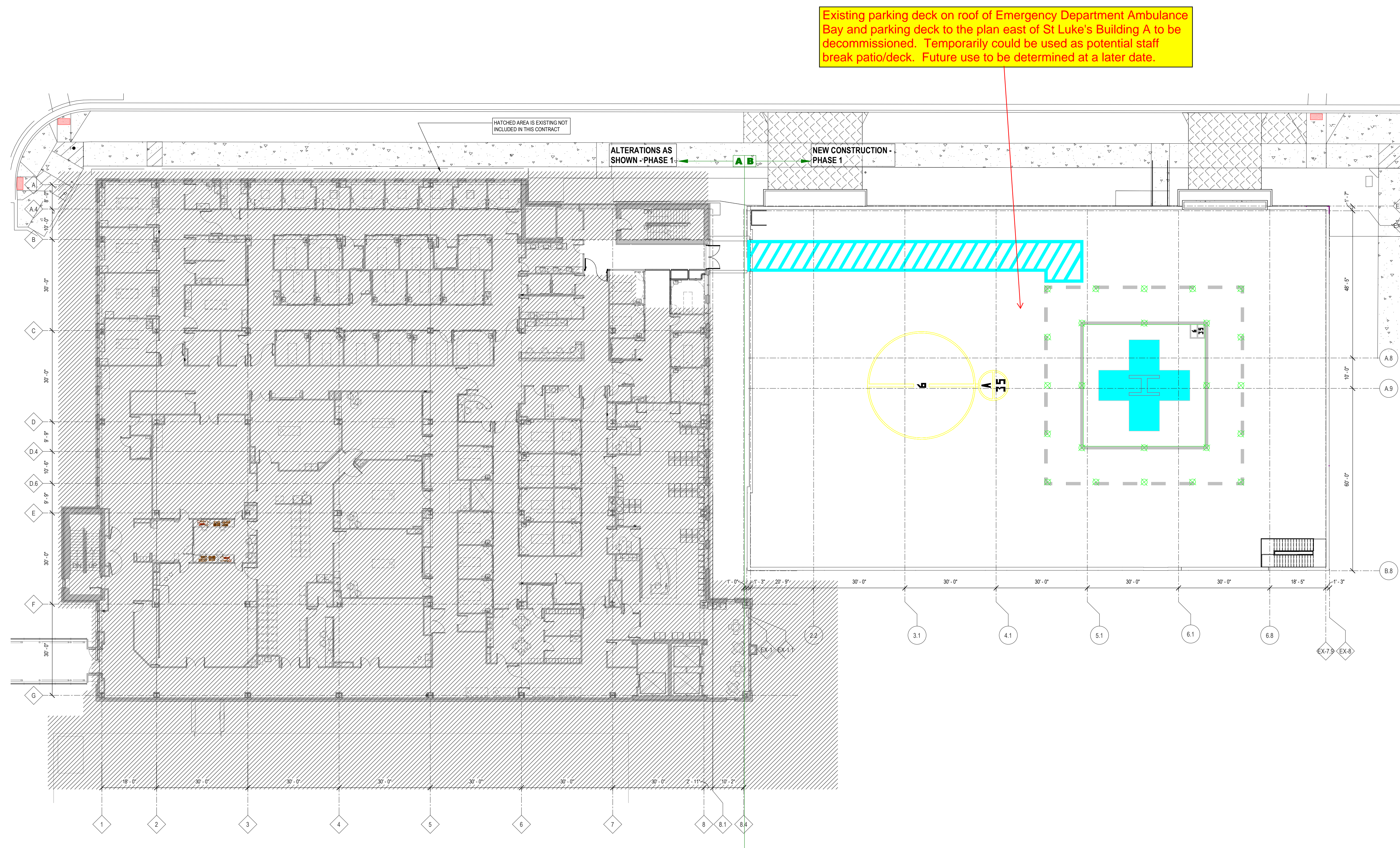
**OVERALL THIRD
FLOOR PLAN -
PHASE 1**

Dm:NBASSETT Chk:TCASEY

Sheet Number

A103.1

JOB #: 656220



2 OVERALL THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"