



Staff Report for PLPR-2607-0002

Application Information:

Application Type: MU-C Planning Review

Location of Subject: 4088 Haines Road

Legal Description: 010-2710-05013, 010-2710-05014,
010-2710-05012

Applicant: 4088 Haines LLC

Applicant Contact: Titanium Partners

Agent: HTG Architects

Agent Contact: n/a

Staff Contact: Chris Lee, clee@duluthmn.gov

Deadline for Action:

Application Date: July 7, 2026

Date Extension Letter Mailed: July 16, 2026

60 Days: September 5, 2026

120 Days: November 4, 2026

Site Visit Date: July 29, 2026

Sign Notice Date: July 28, 2026

Neighbor Letter Date: July 28, 2026

Number of Letters Sent: 15 Letters

Proposal:

The applicant is proposing a 1-story, 5,050 sq. ft. bank with drive-through canopy.

Recommended Action:

Staff recommends that the Planning Commission approve the planning review with conditions.

Zoning and Land Use:

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	MU-C	Undeveloped	Neighborhood Mixed Use
North	MU-C	Retail	Institutional
South	R-2	Multi-Family	Urban Residential
East	MU-C	Mixed Use	Neighborhood Mixed Use
West	HM	Multi-Family	Hermantown

Summary of Code Requirements:

Section 50-15.3.D MU-C District – Planning review pursuant to Section 50-37.11 by the Planning Commission is required for all development and redevelopment. Development may not proceed until the Planning Commission has approved the project through planning review or the district plan option.

Section 50-18.1 Shoreland, Flood Plains, Wetlands.

Section 50-23 Connectivity and Circulation – General circulation requirements for new development.

Section 50-24 Parking and Loading – Addresses required parking spaces, loading docks, and snow storage.

Section 50-25 Landscaping and Tree Preservation – Landscaping requirements and tree preservation.

Section 50-26 Screening, Walls, and Fences – Screening of equipment, loading areas, etc., plus fences & retaining walls.

Section 50-29 Sustainability Standards – Sustainability point system for new development.

Section 50-30 Design Standards – Building standards for multi-family, commercial, institutional, and industrial buildings.

Section 50-31 Exterior Lighting – Directs the minimum and maximum illumination values and lighting fixtures.

Section 50-37.11 Planning Review – Planning Commission shall approve the planning review or approve it with modifications, if it is determined that the application complies with all applicable provisions of this Chapter.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Principle #1: Reuse previously developed lands. This property previously contained a single family home that was removed to allow for uses consistent with this zone district.

Principle #8: Encourage a mix of activities, uses and densities. The proposed development is complimentary to the adjacent uses.

Future Land Use:

- Neighborhood Mixed Use – A transitional use between more intensive commercial uses and purely residential neighborhoods. Includes conversions of houses to office or live-work spaces. May include limited commercial-only space oriented to neighborhood or specialty retail markets.

History: The existing parcels contained 2 single family dwellings. The dwelling fronting on Haines Road was relocated to outside city limits. The structure on 4088 Haines Road will be removed prior to redevelopment.

Review and Discussion Items:

Staff finds:

1. The applicant is proposing a 1-story 5,050 square foot bank with a 4-lane attached drive-through.
2. Section 50-18.1.B (Wetlands, Shorelands, Floodplains) – No impacts to wetlands, floodplains, or shorelands are anticipated as there are none of those features in the immediate project area.
3. Section 50-22.3.E (Use Specific Standards, Bank) – The landscaping plan indicates there will be a dense urban screen between the drive-through and the adjacent residential property with a vegetative buffer as shown in the landscaping plan.
4. Section 50-23 (Connectivity and Circulation) – There are proposed new curb-cuts for access to Haines Road and Maple Grove Road. These driveways will need to be approved by St. Louis County. There is existing sidewalk on Haines Road and Maple Grove Road and the applicant will need to show a connection from sidewalk to building entrance.
5. Section 50-24 (Parking and Loading) – This project will provide 25 parking spaces on site falling under the maximum allowed for the site at 27. The bank also includes a 4-lane drive-through lane that can stack 11 vehicles.
6. Section 50-25 (Landscaping and Tree Preservation) – The applicant has submitted a landscape plan along with a tree replacement plan. The applicant is proposing to remove 420" of trees with replacement at 84.5". The City Forester will need to confirm if this rate of replacement is acceptable. It is not anticipated that there will be extensive disturbance of the existing natural resources as the site was previously developed as single family homes. The submitted landscaping plan meets the standards in this Section. Proposed parking lot tree canopy coverage, internal parking lot islands, and street frontage landscaping all meet or exceed the requirements. The proposed tree replacement plan meets the requirements for replacement and indicates fencing to protect neighboring trees.
7. Section 50-26 (Screening, Walls and Fences) – Ground mounted mechanical units will be installed with compliant screening. No walls or fences are proposed for this project. The drive through is properly screened as it is located behind the building, and out of sight from the right-of-way. Trash containers are adequately screened with appropriate materials.
8. Section 50-29 (Sustainability Standards) – This project is not required to meet sustainability standards as the gross floor area is under 10,000 square feet.
9. Section 50-30 (Building Design Standards) – The proposed structure meets these requirements for transparency, roof articulation, and entryway design as shown in the architectural plans.

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10. Section 50-31 (Exterior Lighting) – Exterior lights will be installed on the outside of the structure, and within the parking lot. The applicant provided a photometric plan and light fixture designs and specifications. The proposed lighting meets the standards in this Section by limiting the lighting to be fully downcast, cutoff fixtures.
 11. No City, agency, or public comments were received.
 12. Per UDC Section 50-37.1.N, an approved Planning Review will lapse if the project or activity authorized by the permit has not begun within one year, which may be extended for one additional year upon a showing of delay beyond the applicant's control, at the discretion of the Land Use Supervisor.

Staff Recommendation:

Based on the above findings, Staff recommends that Planning Commission approve the Planning Review with the following conditions:

1. Applicant shall construct and maintain the project as identified in the attached exhibits.
2. The tree replacement plan shall be approved by the City Forester.
3. Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission action; however, no such administration approval shall constitute a variance from the provisions of Chapter 50.



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Map for PLPR-2607-0002:

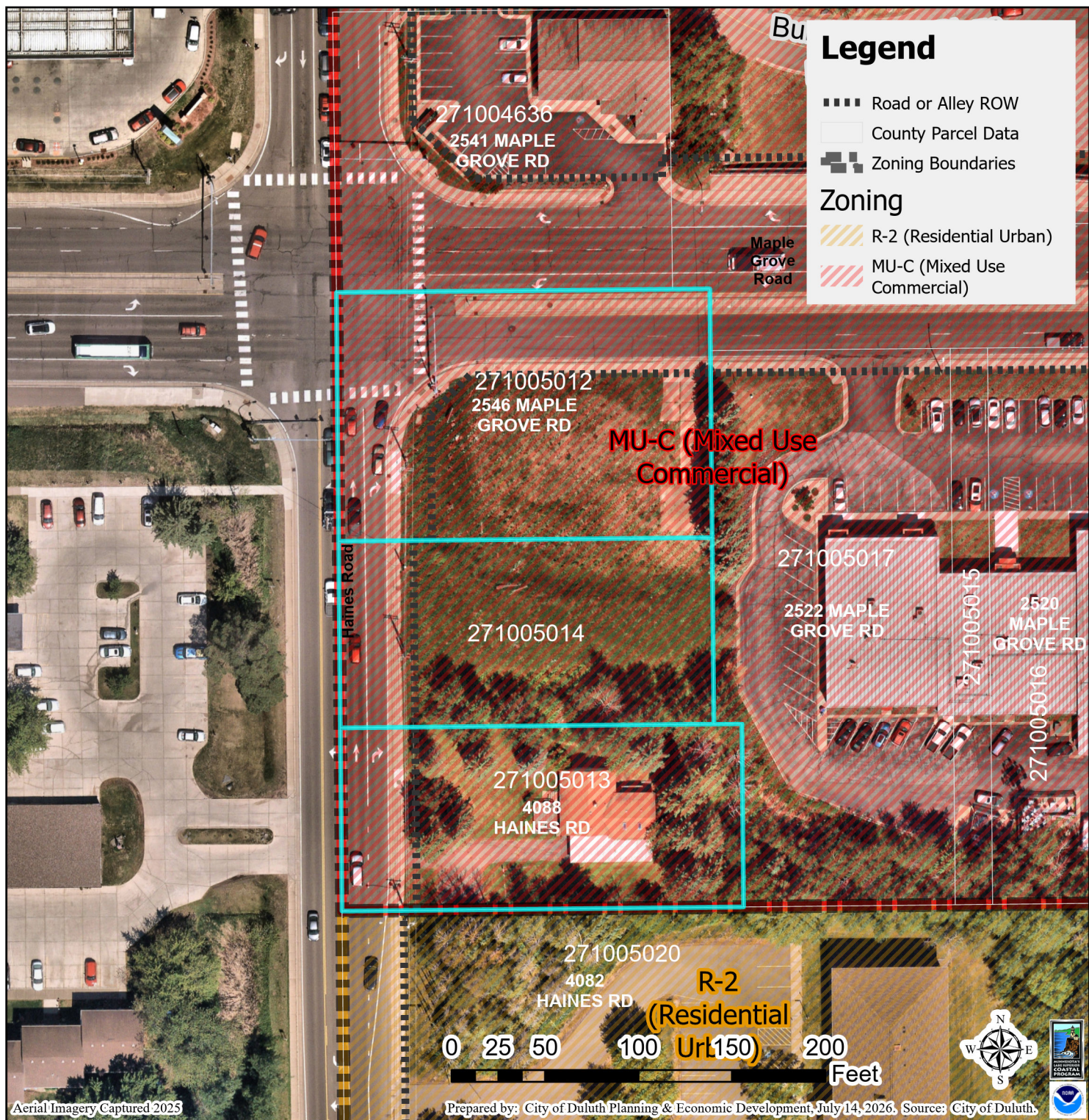


Figure 1. Aerial imagery captured in 2025, showing Parcel #010-2710-05012, 010-2710-05014, and 010-2710-05013 south of the intersection of Haines Road and Maple Grove Road

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

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QUALITY CONTROL

C1-1	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
C4-1	SANITARY AND WATERMAIN PLAN
C4-2	STORM SEWER PLAN
C4-3	STORMWATER MNGMNT PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L0-1	TREE REPLACEMENT PLAN
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

C1-1

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES & OWNER.
2. CLEAR AND GRUB AND REMOVE ALL TREES NOTED FOR REMOVAL, VEGETATION AND SITE DEBRIS WITHIN CONSTRUCTION LIMITS PRIOR TO GRADING, STRIP TOP SOIL AND STOCKPILE ON-SITE. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
3. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL. CONTRACTOR TO NOTIFY ENGINEER WITH ANY CONFLICTS OR PLAN DISCREPANCIES.
4. CONTRACTOR TO SCHEDULE PRE-CONSTRUCTION MEETING(S) WITH UTILITY OWNER(S) TO DISCUSS DISCONNECTIONS AND/OR RELOCATIONS.
5. CONTRACTOR TO VERIFY LOCATION OF SEPTIC FIELD(S) & WELL(S) ON SITE. COORDINATE REMOVALS AND/OR ABANDONMENT WITH THE APPLICABLE GOVERNING AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS. WELLS ON THE PROPERTY SHALL BE SEALED BY A MINNESOTA DEPARTMENT OF HEALTH (MDH) LICENSED CONTRACTOR.
6. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE TO A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
7. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT. SAW CUT AS NECESSARY FOR A NEAT EDGE OF REMOVAL.
8. ANY DAMAGE TO ITEMS NOT NOTED TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION WITH NO ADDITIONAL COMPENSATION.
9. CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE APPLICABLE GOVERNING AGENCIES. ALL WORK SHALL BE PERFORMED PER THE REQUIREMENTS OF THE APPLICABLE GOVERNING AGENCIES.
10. CONTRACTOR TO COORDINATE ALL WORK WITHIN THE ADJACENT PROPERTIES WITH THE OWNER AND ADJACENT PROPERTY OWNER.
11. CONTRACTOR TO COORDINATE DEMOLITION PHASING WITH ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, & OWNER.
12. REFER TO THE GEOTECHNICAL EVALUATION REPORT PREPARED BY BRAUN INTERTEC, DATED MAY 28, 2026 FOR INFORMATION INCLUDING BUT NOT LIMITED TO GROUNDWATER CONDITIONS AND RECOMMENDATIONS FOR EXCAVATION DEWATERING.
13. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ANY REPAIRS TO THE IRRIGATION SYSTEM THAT IS AFFECTED DURING CONSTRUCTION.

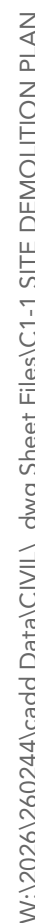
	REMOVE EXISTING BUILDING
	REMOVE EXISTING BITUMINOUS PAVING
	REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ETC.
	MILL AND OVERLAY EXISTING PARKING LOT
	REMOVE EXISTING GRAVEL
	REMOVE EXISTING TREES/WOODS
	REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
	REMOVE EXISTING UTILITIES
	REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
	REMOVE EXISTING TREES
	TREE PROTECTION FENCE
	FULL DEPTH SAW CUT



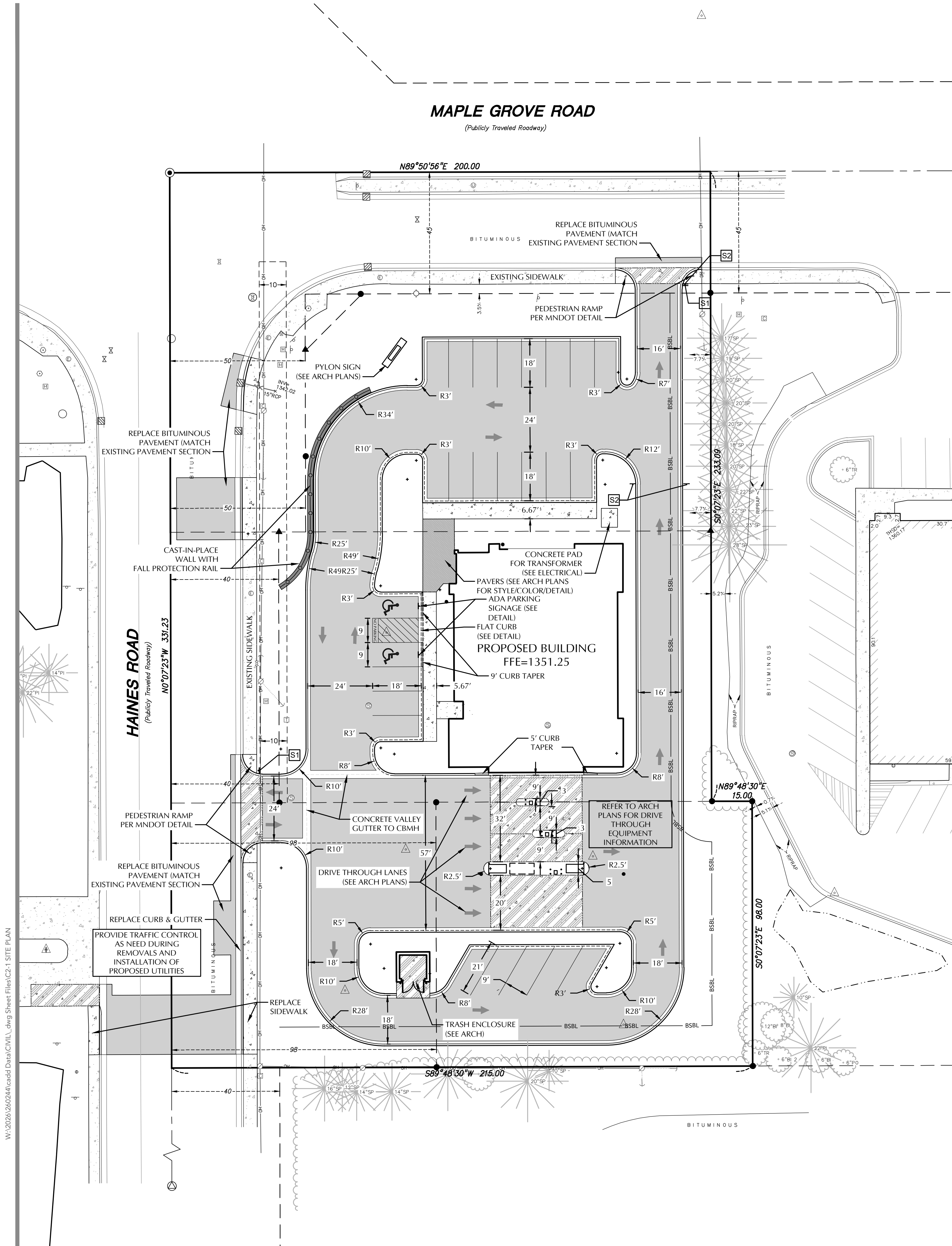
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TOLL FREE: 1-800-252-1166

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



W:\2026\26024\Cadd Data\Civil.dwg Sheet Files\C2-1 SITE PLAN



SITE DATA

CURRENT ZONING: MU-C MIXED USE COMMERCIAL
PROPOSED ZONING: MU-C MIXED USE COMMERCIAL

LOT COVERAGE
LOT AREA: 1.55 ACRE
ROW AREA: 0.62 ACRE
NET AREA: 0.93 ACRE

YARD (BUILDING) SETBACKS:
FRONT 0 FT MINIMUM (FOR STRUCTURES <35 FT IN HEIGHT)
SIDE 15 FT MINIMUM TO RESIDENTIAL; 0 FT TO COMMERCIAL
REAR SAME AS SIDE

PARKING

PROPOSED PARKING STALLS: 23 STALLS
PROPOSED ACCESSIBLE PARKING: 2 STALLS
TOTAL 25 STALLS

REQUIRED ACCESSIBLE PARKING: 1 STALLS**

**REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 1 TO 25 STALLS

SITE NOTES

- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND APPLICABLE GOVERNING AGENCY REQUIREMENTS.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

SIGNAGE AND STRIPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SIGNAGE AND STRIPING AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, LOGOS AND CROSS HATCH LOADING AISLES WITH WHITE PAVEMENT MARKING PAINT, 4" IN WIDTH.
- CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS, AS SHOWN, IN WHITE PAINT.
- ALL SIGNAGE SHALL INCLUDE POST, CONCRETE FOOTING AND STEEL CASING WHERE REQUIRED.
- ALL SIGNAGE NOT PROTECTED BY CURB, LOCATED IN PARKING LOT OR OTHER PAVED AREAS TO BE PLACED IN STEEL CASING, FILLED WITH CONCRETE AND PAINTED YELLOW. REFER TO DETAILS.
- ANY/ALL STOP SIGNS TO INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT, PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK IF APPLICABLE. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO CURB.
- ALL SIGNS TO BE PLACED 18" BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

PAVEMENT LEGEND

- DENOTES LIGHT DUTY BITUMINOUS PAVEMENT
- DENOTES HEAVY DUTY BITUMINOUS PAVEMENT
- DENOTES CONCRETE PAVEMENT
- DENOTES HEAVY DUTY CONCRETE PAVEMENT

SIGNAGE LEGEND

- S1 STOP SIGN
- S2 ONE WAY DO NOT ENTER



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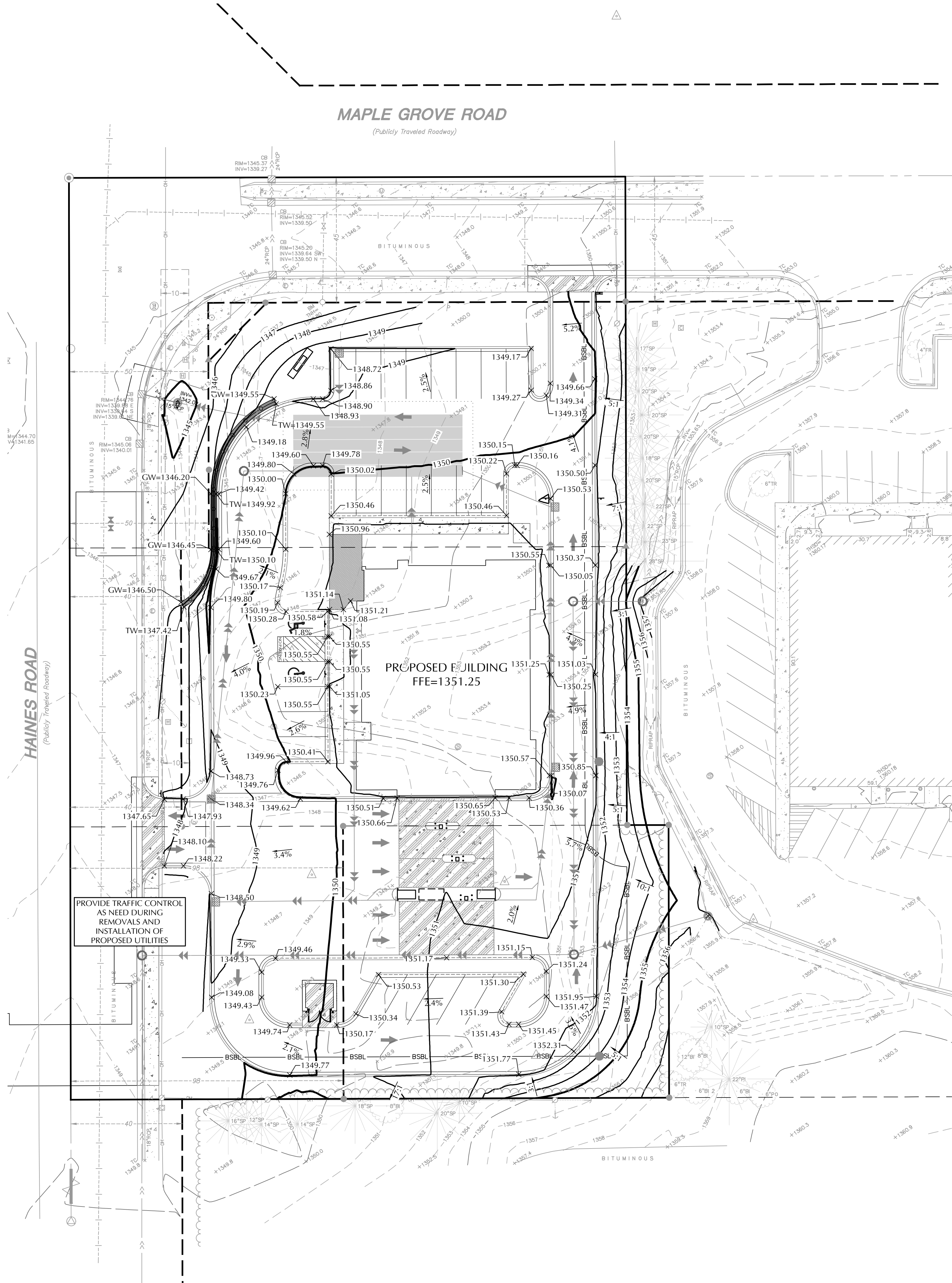
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- C3-3 SWPPP NOTES
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- L1-1 LANDSCAPE PLAN
- L2-1 LANDSCAPE DETAILS

**SITE PLAN
C2-1**

W:\2026\26024\CADD Data\Civil.dwg Sheet File\C3-1 GRADING PLAN



GRADING & DRAINAGE NOTES

1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
3. AT TURNING POINTS ALONG THE ACCESSIBLE ROUTE THE PAVEMENT SHALL NOT EXCEED 2% IN ANY DIRECTION FOR AN AREA 60" IN DIAMETER.
4. ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
5. GRADING, INCLUDING BUT NOT LIMITED TO EXCAVATION AND BACKFILL, OF THE INFILTRATION AREA(S) SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED. NO WHEELED MACHINES SHALL BE USED.
6. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. REFER TO THE LANDSCAPE PLANS, DETAILS AND SPECIFICATIONS FOR FINAL SITE STABILIZATION.
7. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
8. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
9. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING ELEVATIONS.
10. THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT.
11. ONCE GROUND IS EXCAVATED FOR STORM VAULT, CONTRACTOR SHALL NOT DRIVE EQUIPMENT OVER EXCAVATION AREA AND COMPACT SOILS.



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0 20 40
SCALE IN FEET

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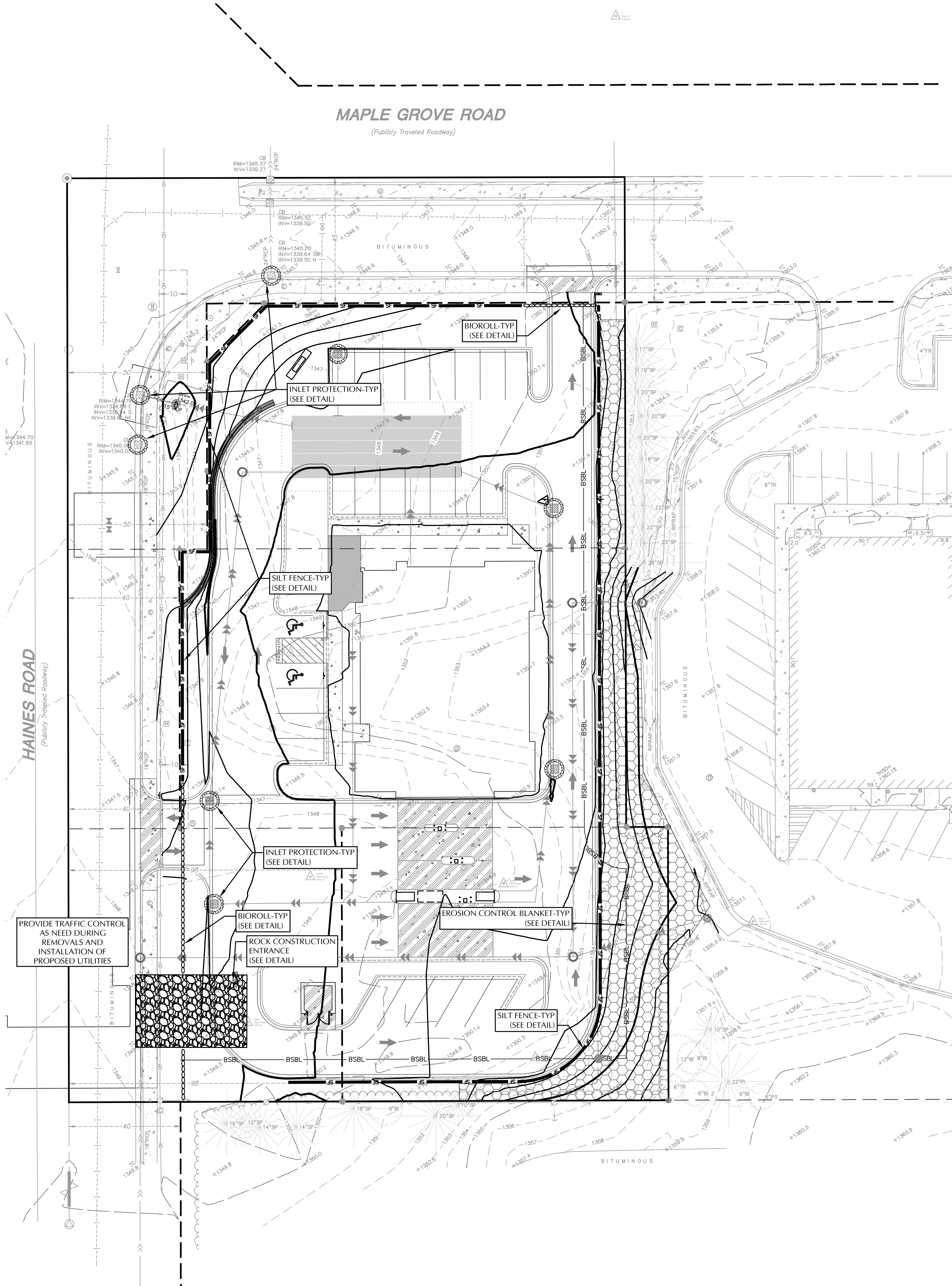
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**GRADING
PLAN**

C3-1

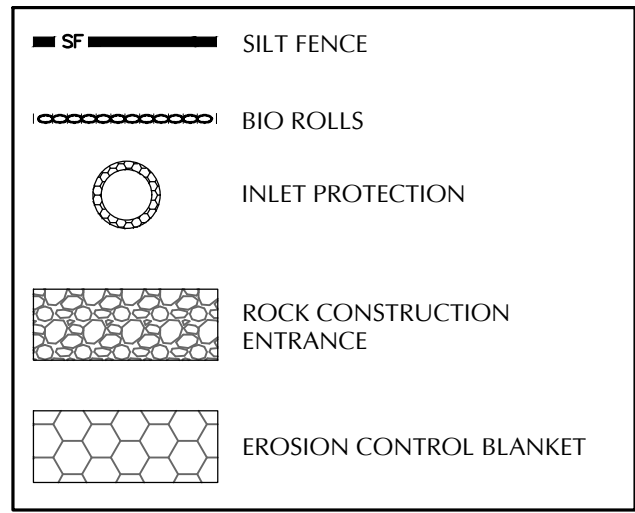
W:\2026\26024\Cadd Data\Civil.dwg Sheet File:C3-2 SWPPP PLAN



GENERAL NOTES

SEE SHEET C3-3 FOR SWPPP NOTES & DETAILS.

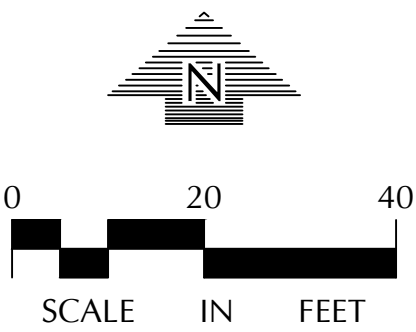
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L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

SWPPP PLAN

C3-2

SWPPP NOTES

1.

THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING A PROPOSED BUILDING, SURFACE PAVEMENTS, UTILITIES, LANDSCAPING AND UNDERGROUND STORMWATER MANAGEMENT SYSTEMS.
2.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

A.

INSTALL VEHICLE TRACKING BMP

B.

INSTALL SILT FENCE AROUND SITE

C.

CLEAR AND GRUB SITE

D.

STRIP AND STOCKPILE TOPSOIL

E.

REMOVE PAVEMENTS AND UTILITIES

F.

ROUGH GRADE SITE

G.

IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE

H.

INSTALL UTILITIES

I.

INSTALL BUILDING FOUNDATIONS

J.

INSTALL CURB AND GUTTER

K.

INSTALL PAVEMENTS AND WALKS

L.

FINAL GRADE SITE

M.

REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS

N.

SEED AND MULCH

O.

WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE, INLET PROTECTION, AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
3.

SITE DATA:

SEE STORMWATER HYDROLOGY REPORT PREPARED BY NORTHLAND CONSULTING FOR PROJECT DISTURBED AREA AND PRE-/POST- IMPERVIOUS AREAS.

GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT BY BRAUN DATED 05/28/26

HYDROLOGY INFORMATION: SEE HYDROLOGY REPORT PREPARED BY NORTHLAND CONSULTING
4.

EROSION AND SEDIMENT CONTROLS WERE DESIGNED TO EFFECTIVELY CONTROL STORMWATER RUNOFF WITHIN THE PROJECT AREAS. EROSION AND SEDIMENT CONTROL HAVE BEEN PROPOSED TO MINIMIZE CHANNEL EROSION AND SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS. FACTORS THAT WERE CONSIDERED INCLUDE PROPOSED IMPERVIOUS AREAS, SLOPE OF IMPERVIOUS SURFACES, STORMWATER INFRASTRUCTURE DISCHARGE POINTS, AND ANNUAL AVERAGE PRECIPITATION DATA FOR THE PROJECT AREA.
5.

SEE STORMWATER HYDROLOGY REPORT PREPARED BY NORTHLAND CONSULTING FOR ANNUAL AND DESIGN STORM EVENT DATA.
6.

SEE EXHIBIT BY NORTHLAND CONSULTING FOR SITE MAP WITH DRAINAGE AREA BOUNDARIES.
7.

THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
8.

CONTRACTOR SHALL INSTALL RAIN GAUGE ON SITE.
9.

GROUNDWATER & DEWATERING

A.

REFER TO THE GEOTECHNICAL REPORT PREPARED BY BRAUN DATED MAY 28, 2026 FOR INFORMATION INCLUDING BUT NOT LIMITED TO GROUNDWATER CONDITIONS AND RECOMMENDATIONS FOR EXCAVATION DEWATERING.

B.

FOLLOW LOCAL, STATE, AND FEDERAL REGULATIONS FOR GROUNDWATER PUMPING AND OBTAIN ALL NECESSARY PERMITS.

C.

DISPERSE DISCHARGE USING APPROPRIATE ENERGY DISSIPATION MEASURES.

D.

BMPs SHALL BE USED TO PREVENT TURBID OR SEDIMENT LADEN WATERS FROM LEAVING SITE.

E.

DEWATERING SHALL NOT CAUSE NUISANCE CONDITIONS INCLUDING BUT NOT LIMITED TO EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS THAT CAUSES SIGNIFICANT ADVERSE IMPACTS TO THE WETLAND.
10.

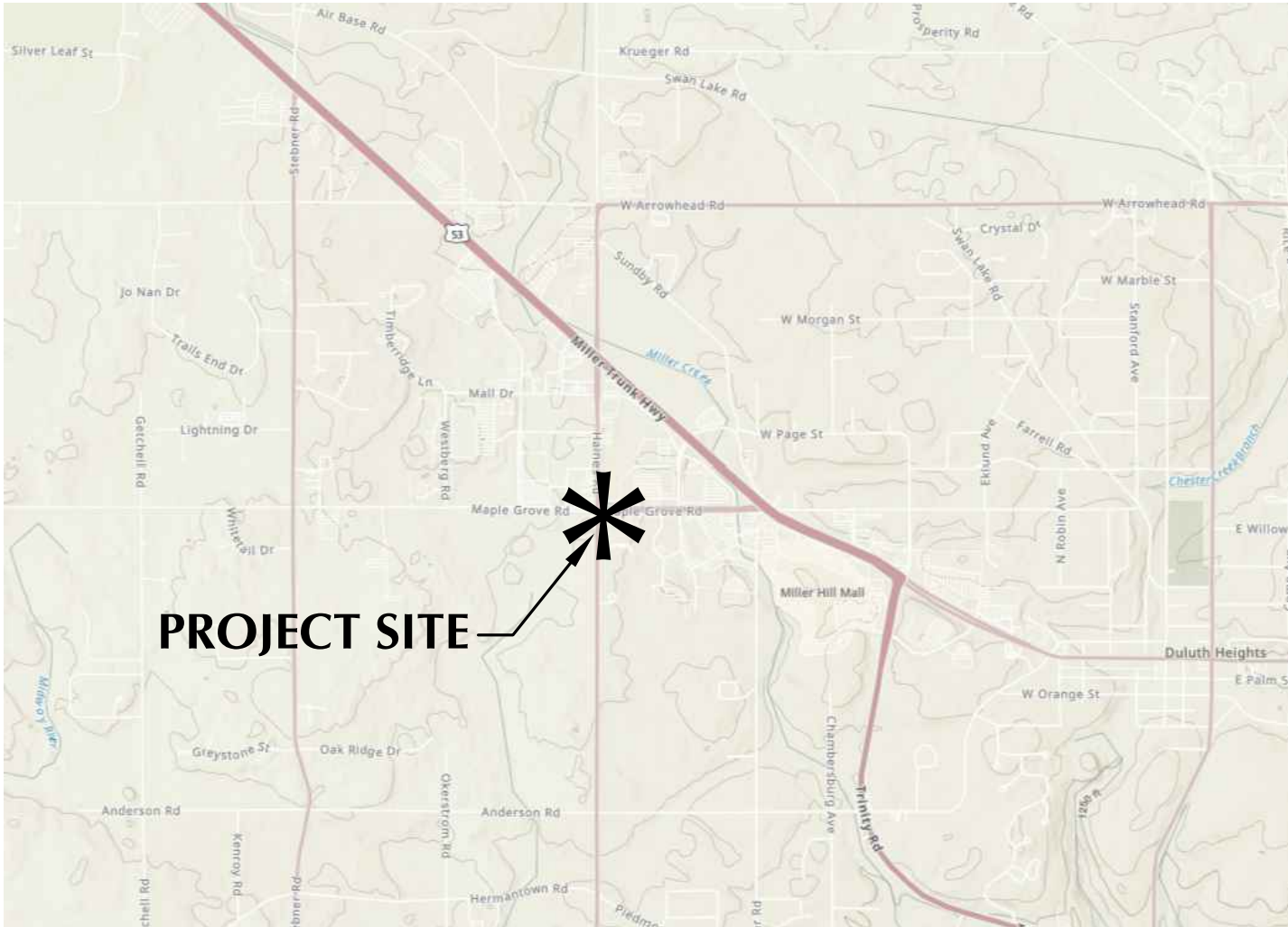
REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION AND RECOMMENDATIONS RELATED TO SOIL CONTAMINATION.
11.

ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	NOT ALLOWED
SILT FENCE (STANDARD)	LF	658
EROSION CONTROL BLANKET	SY	609
INLET PROTECTION	EA	8
BIO-ROLL	LF	117

SITE VICINITY MAP



12.

ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
13.

ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
14.

SOIL COMPACTION SHALL BE MINIMIZED DURING CONSTRUCTION.
15.

TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEPMT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
16.

SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED ON ALL DOWNGRADIENT PERIMETERS AND UPGRADIENT OF ANY BUFFER ZONES.
17.

SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
18.

SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
19.

NO VEHICLE WASHING ALLOWED ON SITE.
20.

NO ENGINE DEGREASING IS ALLOWED ON SITE.
21.

THE OWNER IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR IS RESPONSIBLE FOR COMPLIANCE WITH SECTIONS 3, 4, 6-22, 24 AND APPLICABLE REQUIREMENTS FOR CONSTRUCTION ACTIVITY IN SECTION 23.
22.

TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER THE FOLLOWING CONDITIONS HAVE BEEN MET:

A.

PERMIT TERMINATION CONDITIONS, PER NPDES PERMIT SECTION 13.1 HAVE BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.

A.A.

PERMANENT UNIFORM PERENNIAL VEGETATIVE COVER MUST BE ESTABLISHED AT 70% DENSITY OF ITS EXPECTED FINAL GROWTH.

A.B.

THE PERMANENT STORMMWATER TREATMENT SYSTEM IS CONSTRUCTED, MEETS ALL REQUIREMENTS, AND IS OPERATING AS DESIGNED.

A.C.

ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs MUST BE REMOVED.

A.D.

CLEAN OUT SEDIMENT FROM CONVEYANCE SYSTEMS AND PERMANENT STORMWATER TREATMENT SYSTEMS (RETURN TO DESIGN CAPACITY).
23.

INSPECTIONS

A.

INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.

B.

EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.

C.

STABILIZED AREAS: ONCE EVERY 30 DAYS

D.

FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.

E.

INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.

F.

OBSERVE ANY DISCHARGE OCCURRING ONSITE AND DOCUMENT CORRECTIVE ACTIONS TAKEN. DISCHARGE SHOULD BE DESCRIBED AND PHOTOGRAPHED.
24.

MINIMUM MAINTENANCE

A.

ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW.

- B.

REPAIR, REPLACE, OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES THE HEIGHT OF THE DEVICE.
- C.

SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME.
- D.

SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN CALENDAR DAYS OF DISCOVERY.
- E.

CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITHIN (1)ONE CALENDAR DAY.
- F.

PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS.
25.

THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL CONTROL OF THE SITE.
26.

OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
27.

SWPPP MUST BE AMENDED WHEN:

A.

THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE

B.

INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.

C.

THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

28.

IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.

29.

PIPE OULTETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

30.

FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACVTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.

31.

THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMPs.

32.

EROSION CONTROL DEVICES CANNOT BE REMOVED UNTIL THE WATERSHED DISTRICT HAS DETERMINED THE SITE HAS BEEN PERMANENTLY RESTABILIZED AND SHALL BE REMOVED WITHIN 30 DAYS THEREAFTER.
- | TITLE | NAME | COMPANY | PHONE NUMBER |
|-----------------|---------------|---------|--------------|
| OWNER | -- | -- | 612-259-7110 |
| PROJECT MANAGER | BRIAN JOHNSON | LOUCKS | 763-496-6745 |
| ENGINEER SWPPP | BRIAN JOHNSON | LOUCKS | 763-496-6745 |
| CONTRACTOR | | | |
| SITE MANGER | | | |
| | | | |
- CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP
-
- BLAZE

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4088 Haines Road
Duluth, MN 55811
- Blaze

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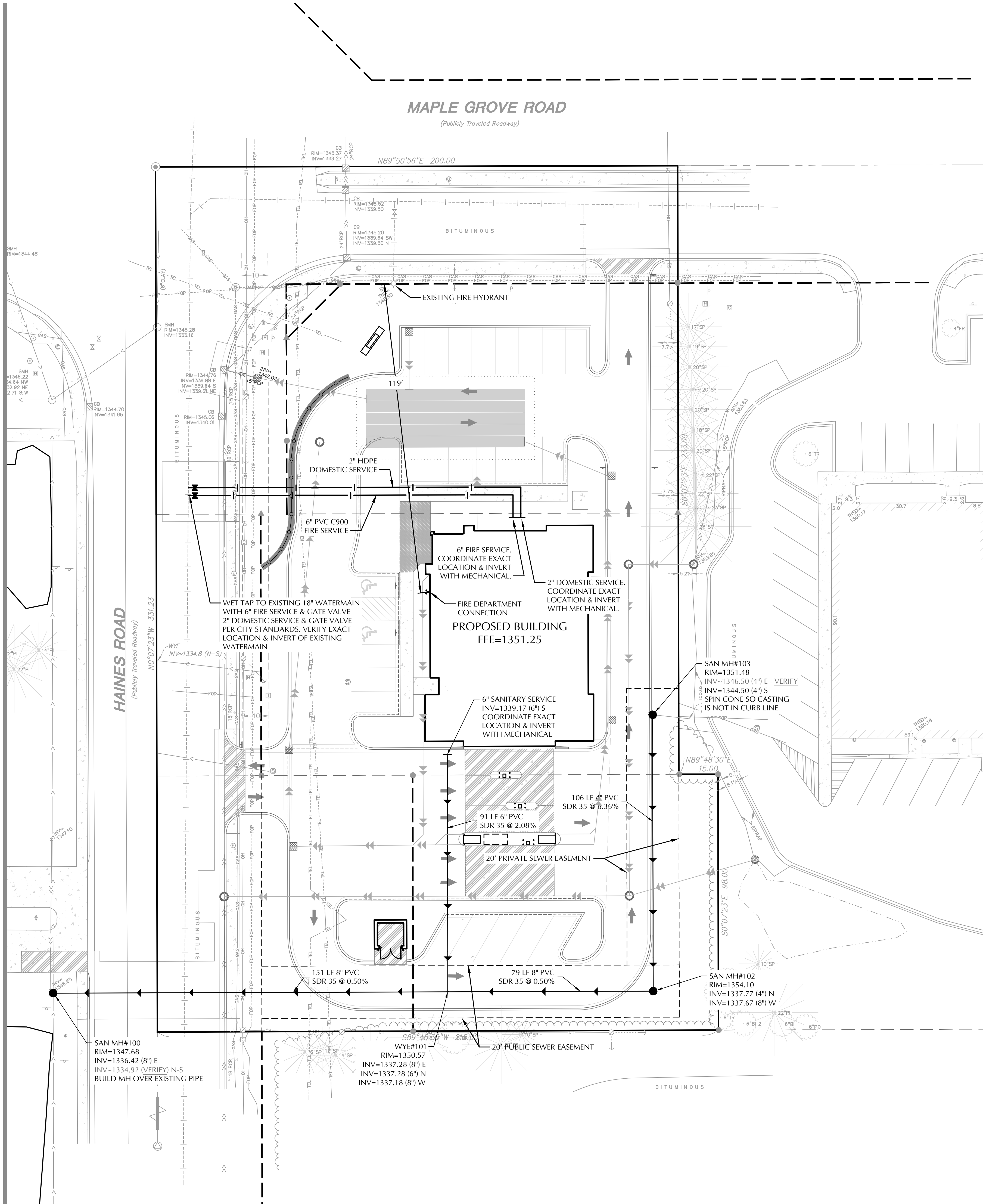
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Falcon Heights, MN 55113
- LOUCKS

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www.loucksa inc.com
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- SUBMITTAL/REVISIONS
- 07/07/26 CITY SUBMITTAL
- PROFESSIONAL SIGNATURE
- QUALITY CONTROL
- | | |
|------|-----------------------------|
| C1-1 | DEMOLITION PLAN |
| C2-1 | SITE PLAN |
| C3-1 | GRADING PLAN |
| C3-2 | SWPPP |
| C3-3 | SWPPP NOTES |
| C4-1 | SANITARY AND WATERMAIN PLAN |
| C4-2 | STORM SEWER PLAN |
| C4-3 | STORMWATER MNGMNT PLAN |
| C8-1 | CIVIL DETAILS |
| C8-2 | CIVIL DETAILS |
| C8-3 | CIVIL DETAILS |
| L0-1 | TREE REPLACEMENT PLAN |
| L1-1 | LANDSCAPE PLAN |
| L2-1 | LANDSCAPE DETAILS |
- SWPPP NOTES

C3-3
- W:\2026\26024\Cadd Data\Civil\dwg Sheet Files\C3-3 SWPPP NOTES

W:\2026\26024\Cadd Data\Civil.dwg Sheet Files\C4-1 SANITARY AND WATERMAIN PLAN



SANITARY SEWER & WATERMAIN NOTES

- ALL STORM SEWER, SANITARY SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), CURRENT EDITION FOR WORK IN THE RIGHT-OF-WAY.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL SITE UTILITY SERVICES SHALL TERMINATE 5' FROM THE EXTERIOR BUILDING WALL UNLESS OTHERWISE NOTED. THE SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, MECHANICAL CONTRACTOR AND MECHANICAL ENGINEER TO DETERMINE THE RESPONSIBILITY OF BRINGING THE SERVICE(S) INTO THE BUILDING, INSPECTIONS AND TESTING PER APPLICABLE GOVERNING AGENCIES.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATERMAIN AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- PER MINNESOTA DEPARTMENT OF LABOR & INDUSTRY REQUIREMENTS, A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FROM WATERMAIN TO ANY MANHOLE, SEPTIC SYSTEM, CATCH BASIN, SEWER PIPE, OR OTHER SOURCE OF CONTAMINATION, MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE UNLESS OTHERWISE SHOWN.
- ALL STORM SEWER DOWNSPOUT COLLECTION PIPES AND WYES SHALL BE PVC (SCHEDULE 40).
- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF SANITARY & STORM STRUCTURE(S) AND UNDERGROUND SYSTEM(S) FOR ENGINEER'S REVIEW.
- CONTRACTOR TO VERIFY UNDERLYING SOILS BENEATH ALL STORMWATER FACILITIES, AND PROVIDE DOCUMENTATION TO THE ENGINEER, PRIOR TO CONSTRUCTION OF THE FACILITIES.
- ALL PORTIONS OF THE SANITARY & STORM SEWER SYSTEMS, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4714.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- HYDRANT USE: CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF DULUTH PUBLIC UTILITIES WHEN THEY NEED TO USE A HYDRANT; ONLY PRE-AUTHORIZED HYDRANTS WILL BE USED. HYDRANTS TO BE OPERATED ONLY WITH PROPER EQUIPMENT SUCH AS A HYDRANT NUT WRENCH; NOT A PIPE WRENCH. HYDRANT METER IS AVAILABLE FROM CITY OF DULUTH PUBLIC UTILITIES. ANY TRUCK, ETC. FILLED FROM A HYDRANT MUST BE METERED, MUST HAVE PHYSICAL BREAK OR BACK-FLOW PREVENTER APPROVED BY CITY OF DULUTH PUBLIC UTILITIES. ALSO APPLIES TO SUBCONTRACTORS.
- OPERATING VALVES FOR TURNING WATER MAIN ON/OFF: CITY OF DULUTH PUBLIC UTILITIES WILL OPERATE ALL VALVES AND FILL ALL WATER MAINS (PUBLIC AND PRIVATE). CONTRACTOR SHALL GIVE AT LEAST 24 HOURS NOTICE TO HAVE WATER SHUT OFF AND SHALL NOTIFY IN WRITING, ALL AFFECTED CUSTOMERS AT LEAST 24 HOURS IN ADVANCE BEFORE SHUT OFF; ATTACH TO DOOR, ETC., NOT IN MAILBOXES.
- TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY CITY OF DULUTH AND USE ONLY PRE-APPROVED HYDRANT AND SUPPLIED HYDRO METER WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY MAIN SHALL BE DISINFECTED, FLUSHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER SYSTEM SHALL BE IN PLACE PRIOR TO CITY OF DULUTH SHUTTING OFF ANY WATER MAINS.
- REFER TO GEOTECHNICAL EVALUATION REPORT DATED 05/28/26 AS PREPARED BY BRAUN INTERTEC, FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS INCLUDING BUT NOT LIMITED TO:
 - REUSE OF ON-SITE SOILS
 - GROUNDWATER AND RECOMMENDATIONS FOR EXCAVATION DEWATERING.
 - SITE GRADING AND SUBGRADE PREPARATION.
 - PAVEMENTS AND EXTERIOR SLABS.
 - TRENCH EXCAVATION AND BACKFILL.
 - EXTERIOR UTILITY SUPPORTS.
 - FROST PROTECTION.
- CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION OF CONSTRUCTED UTILITIES (RECOMMENDED PRIOR TO BACKFILLING) PER APPLICABLE PERMIT REQUIREMENTS AND/OR DEVELOPMENT AGREEMENTS.
- ALL UNUSED UTILITY SERVICES SHALL BE ABANDONED PER THE REQUIREMENTS OF THE APPLICABLE GOVERNING AGENCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED UTILITY PERMITS FROM THE APPLICABLE GOVERNING AGENCIES.
- CONTRACTOR TO CONTACT CITY OF DULUTH PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES FOR THE CONNECTIONS FOR WATER, ELECTRIC, SANITARY SEWER, STORM SEWER AND UTILITY METERS.
- ONCE GROUND IS EXCAVATED FOR STORM VAULT, CONTRACTOR SHALL NOT DRIVE EQUIPMENT OVER EXCAVATION AREA AND COMPACT SOILS.
- INLET AND OUTLET CONNECTIONS TO SEWER MANHOLES MUST USE FLEXIBLE COMPRESSION JOINTS LOCATED BETWEEN 12 AND 36 INCHES FROM THE MANHOLE OR APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS AND OTHER STRUCTURES.



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



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SUBMITTAL/REVISIONS

07/07/26 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

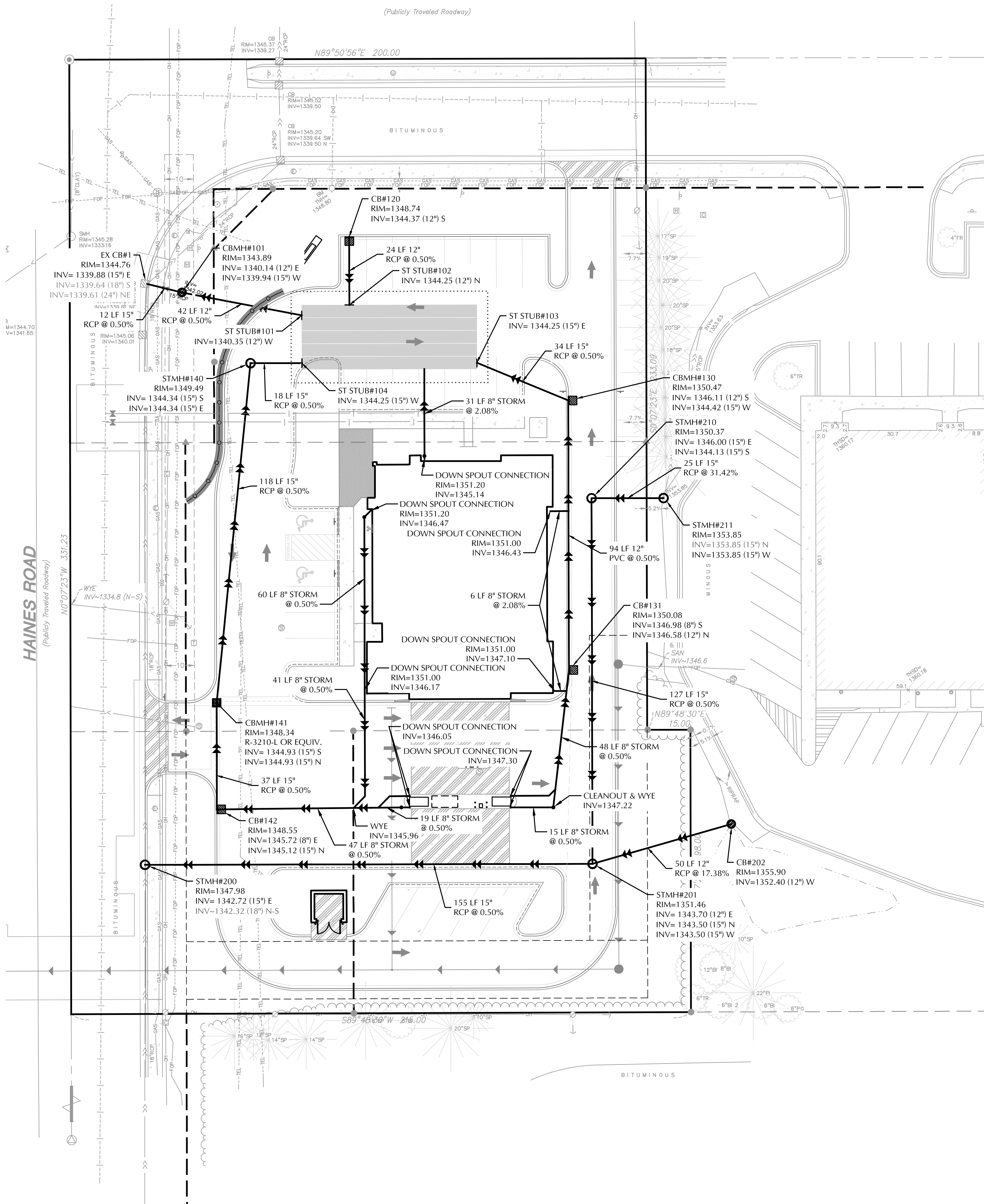
QUALITY CONTROL

C1-1	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
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L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

SANITARY
AND
WATERMAIN
PLAN

C4-1

W:\2026\26024\Cadd Data\Civil.dwg Sheet Files\C4-2 STORM SEWER PLAN



STORM SEWER NOTES

- ALL STORM SEWER SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), CURRENT EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- CONTRACTOR TO ENSURE THAT MECHANICAL JOINTS COMPLY WITH ASTM C1173 OR ASTM C1461 AND THE MECHANICAL JOINT TYPE IS INTENDED FOR THE SPECIFIC TRANSITION PER MINNESOTA PLUMBING CODE (SECTION 705.10) JOINTS BETWEEN VARIOUS MATERIALS.
- ALL SITE UTILITY SERVICES SHALL TERMINATE 5' FROM THE EXTERIOR BUILDING WALL UNLESS OTHERWISE NOTED. THE SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR, MECHANICAL CONTRACTOR AND MECHANICAL ENGINEER TO DETERMINE THE RESPONSIBILITY OF BRINGING THE SERVICE(S) INTO THE BUILDING, INSPECTIONS AND TESTING PER APPLICABLE GOVERNING AGENCIES.
- PER MINNESOTA DEPARTMENT OF LABOR & INDUSTRY REQUIREMENTS, A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FROM WATERMAIN TO ANY MANHOLE, SEPTIC SYSTEM, CATCH BASIN, SEWER PIPE, OR OTHER SOURCE OF CONTAMINATION, MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE UNLESS OTHERWISE SHOWN.
- ALL STORM SEWER DOWNSPOUT COLLECTION PIPES AND WYES SHALL BE PVC (SCHEDULE 40).
- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF STORM STRUCTURE(S) AND UNDERGROUND SYSTEM(S) FOR ENGINEER'S REVIEW.
- CONTRACTOR TO VERIFY UNDERLYING SOILS BENEATH ALL STORMWATER FACILITIES, AND PROVIDE DOCUMENTATION TO THE ENGINEER, PRIOR TO CONSTRUCTION OF THE FACILITIES.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4714.
- REFER TO GEOTECHNICAL EVALUATION REPORT, DATED MAY 28, 2026 AS PREPARED BY BRAUN INTERTECT, FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS INCLUDING BUT NOT LIMITED TO:
 - REUSE OF ON-SITE SOILS
 - GROUNDWATER AND RECOMMENDATIONS FOR EXCAVATION DEWATERING.
 - SITE GRADING AND SUBGRADE PREPARATION.
 - PAVEMENTS AND EXTERIOR SLABS.
 - TRENCH EXCAVATION AND BACKFILL.
 - EXTERIOR UTILITY SUPPORTS.
 - FROST PROTECTION.
- CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION OF CONSTRUCTED STORMWATER MANAGEMENT SYSTEMS & ASSOCIATED INFRASTRUCTURE (RECOMMENDED PRIOR TO BACKFILLING) PER APPLICABLE PERMIT REQUIREMENTS AND/OR DEVELOPMENT AGREEMENTS.
- ALL UNUSED UTILITY SERVICES SHALL BE ABANDONED PER THE REQUIREMENTS OF THE APPLICABLE GOVERNING AGENCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED UTILITY PERMITS FROM THE APPLICABLE GOVERNING AGENCIES.
- SEE PLANS, CALCULATIONS, AND STORMWATER REPORT FROM NORTHLAND CONSULTING ENGINEERS FOR STORMWATER MANAGEMENT STRATEGY AND HOW REQUIREMENTS ARE MET.
- DRAINAGE FROM 2520 MAPLE GROVE ROAD (EAST NEIGHBORING PROPERTY) IS INTENDED TO BE CAPTURED AND BYPASSED AS PART OF THIS PROJECT. THIS OCCURS AT CB#202.



CALL BEFORE YOU DIG!

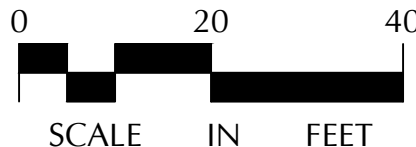
Gopher State One Call

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TOLL FREE: 1-800-252-1166

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07/07/26 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

QUALITY CONTROL

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C3-3	SWPPP NOTES
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C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
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L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS

STORM SEWER
PLAN

C4-2

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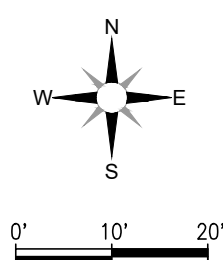
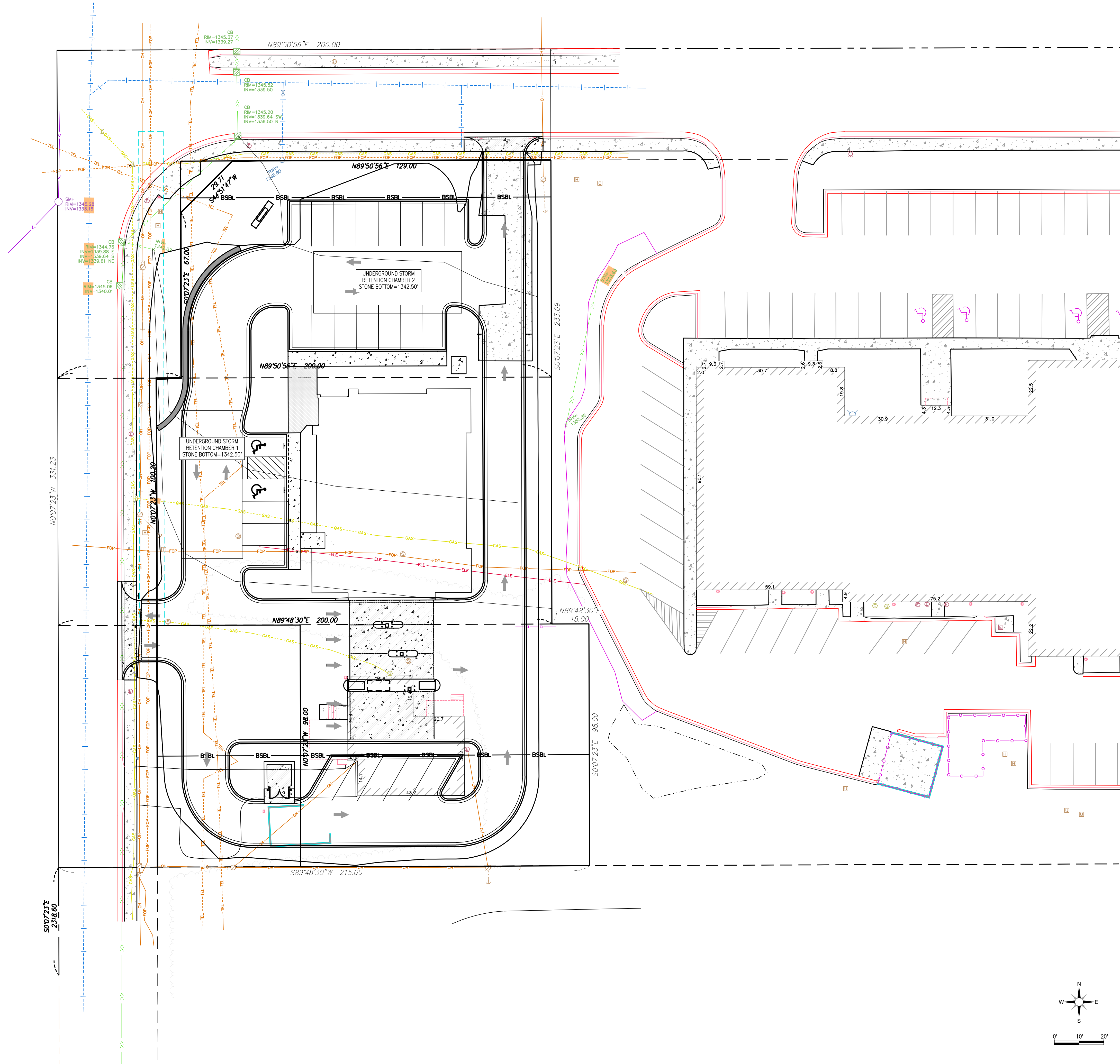
License No. 40926
Date XX/XX/XX

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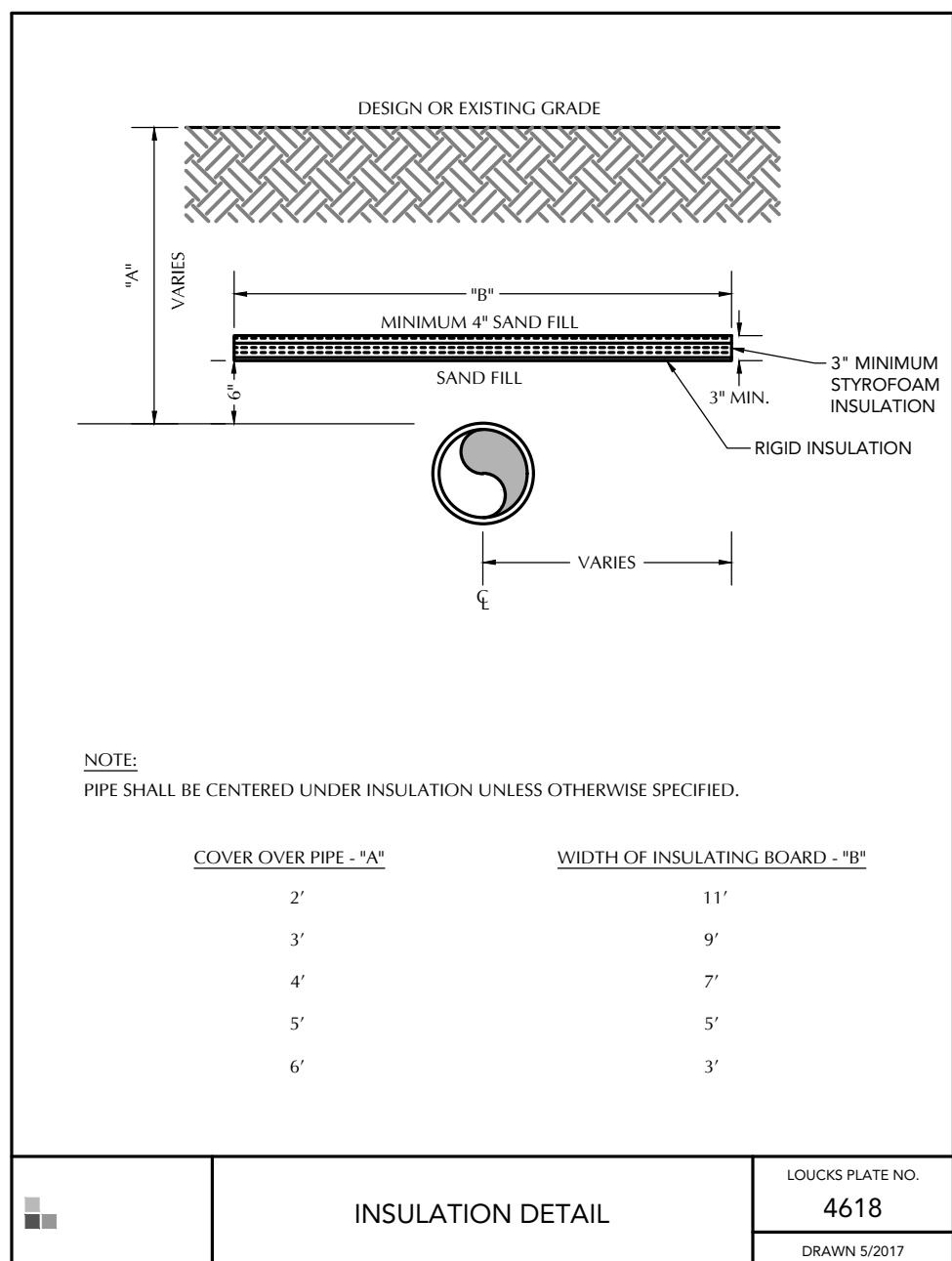
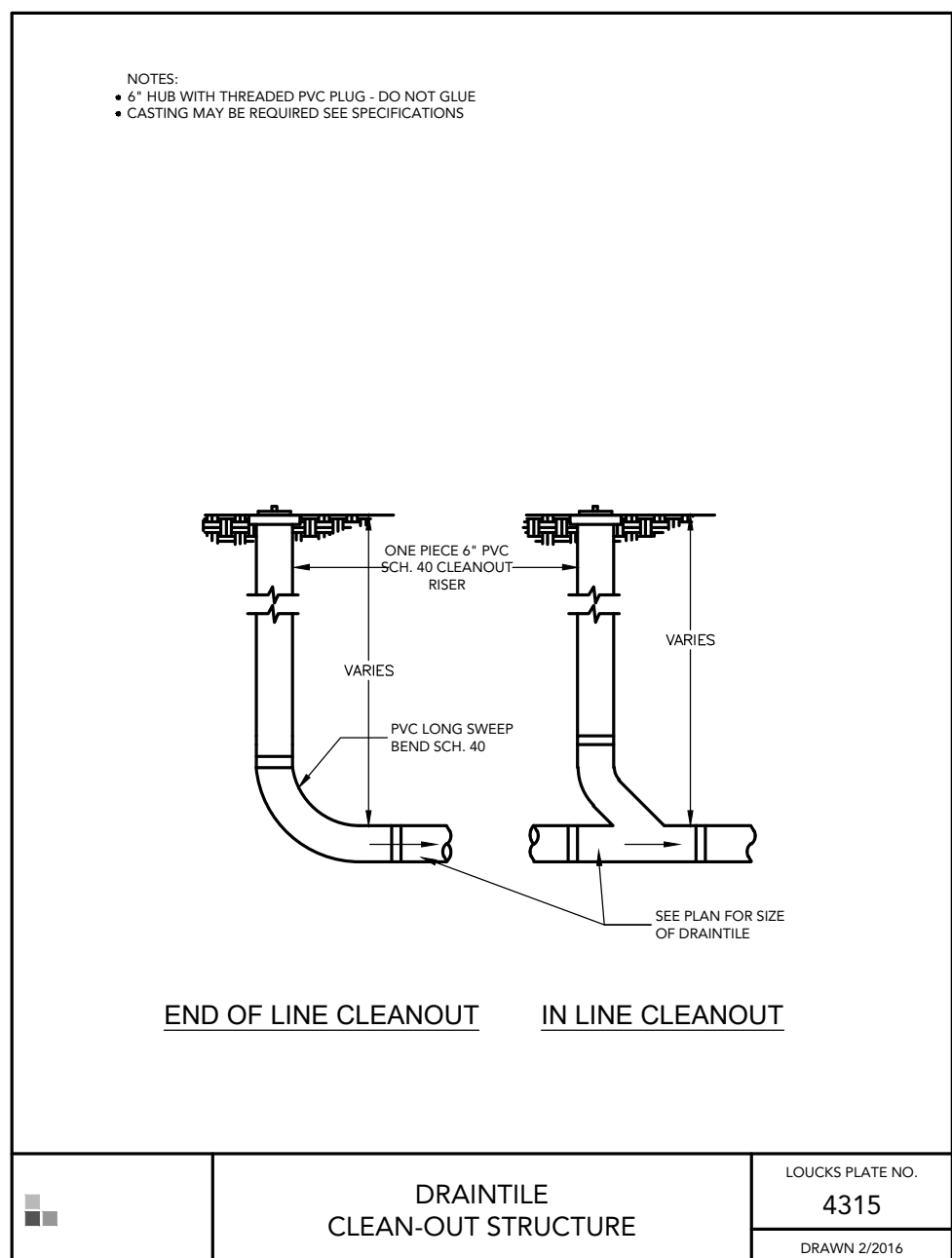
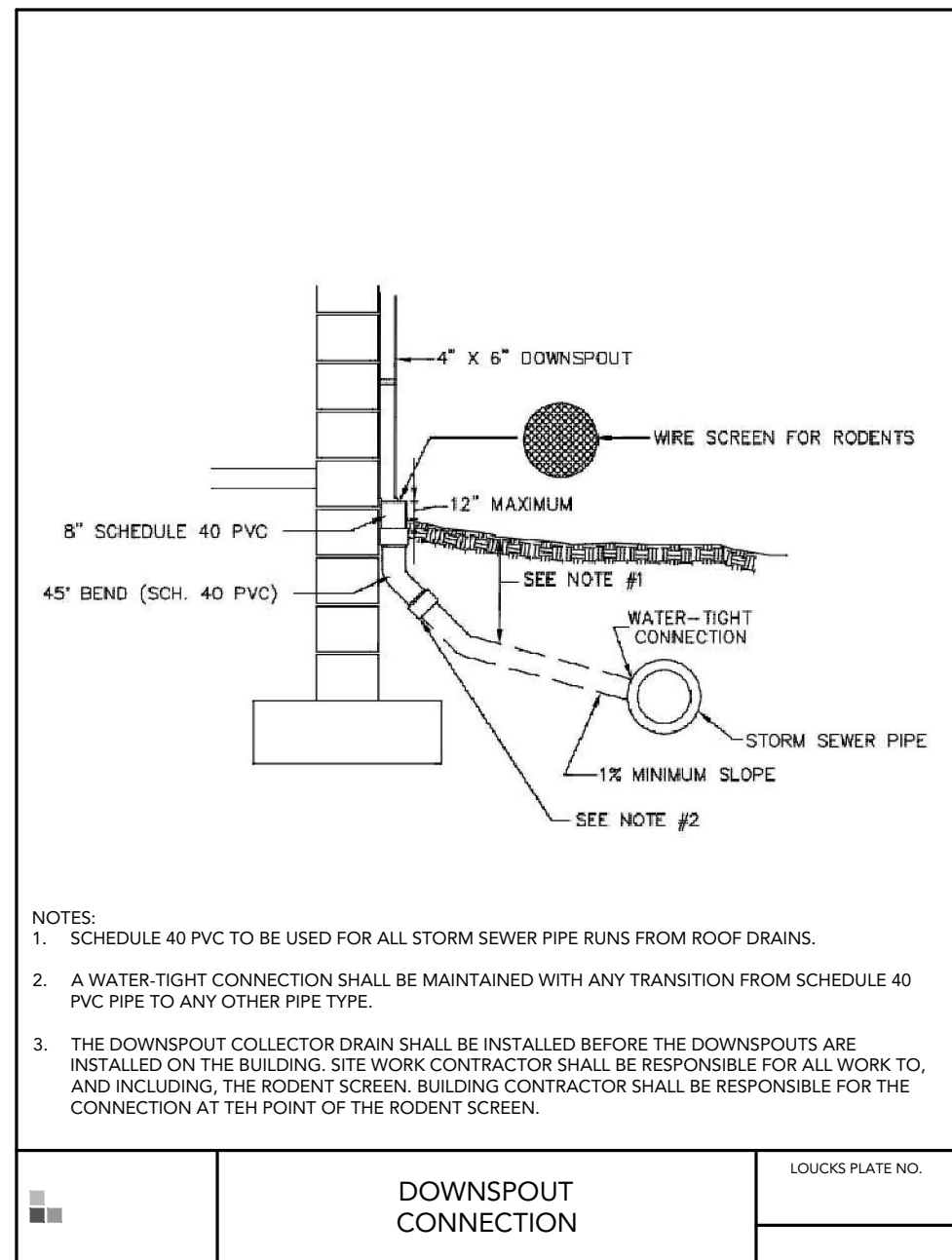
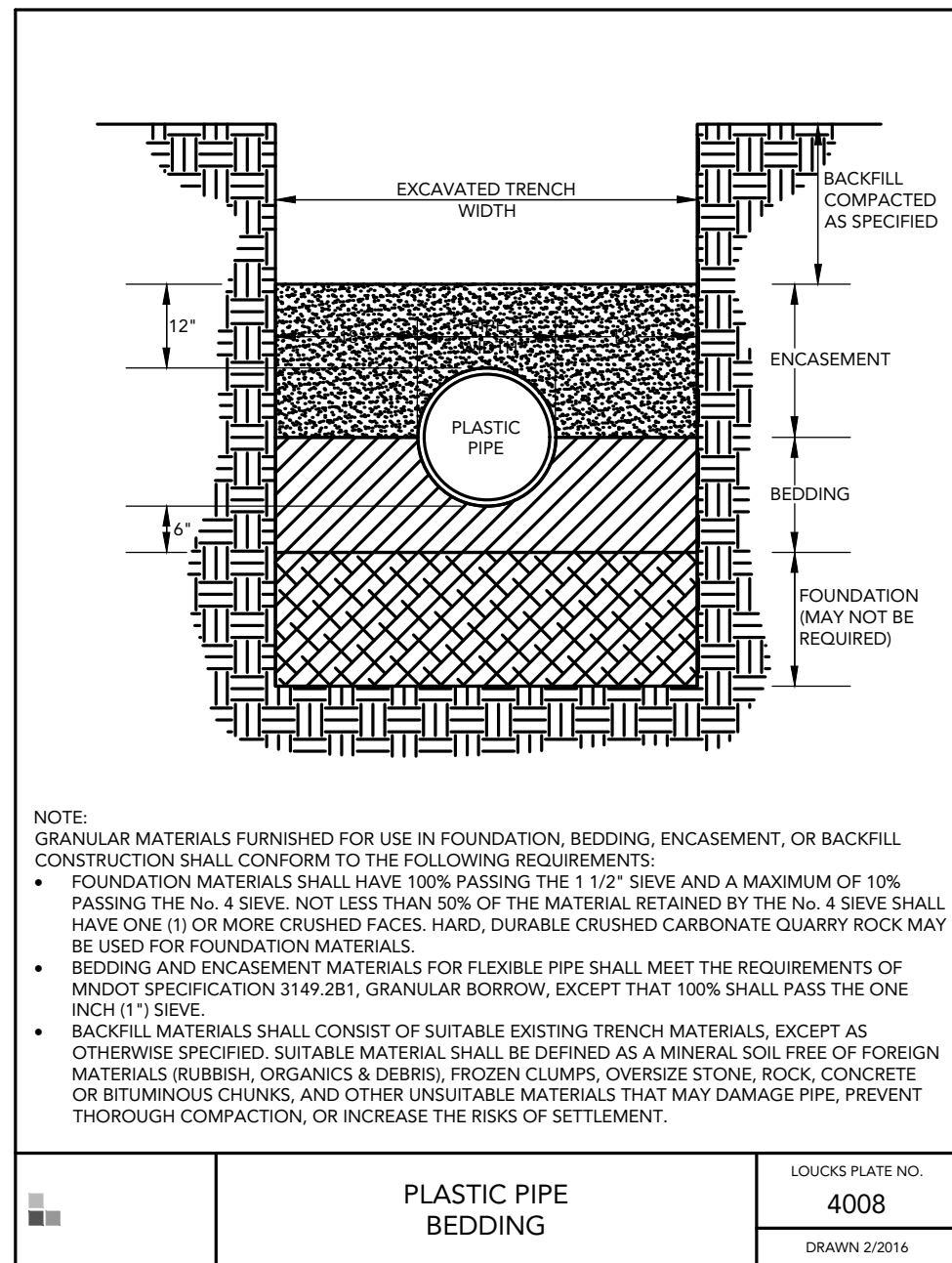
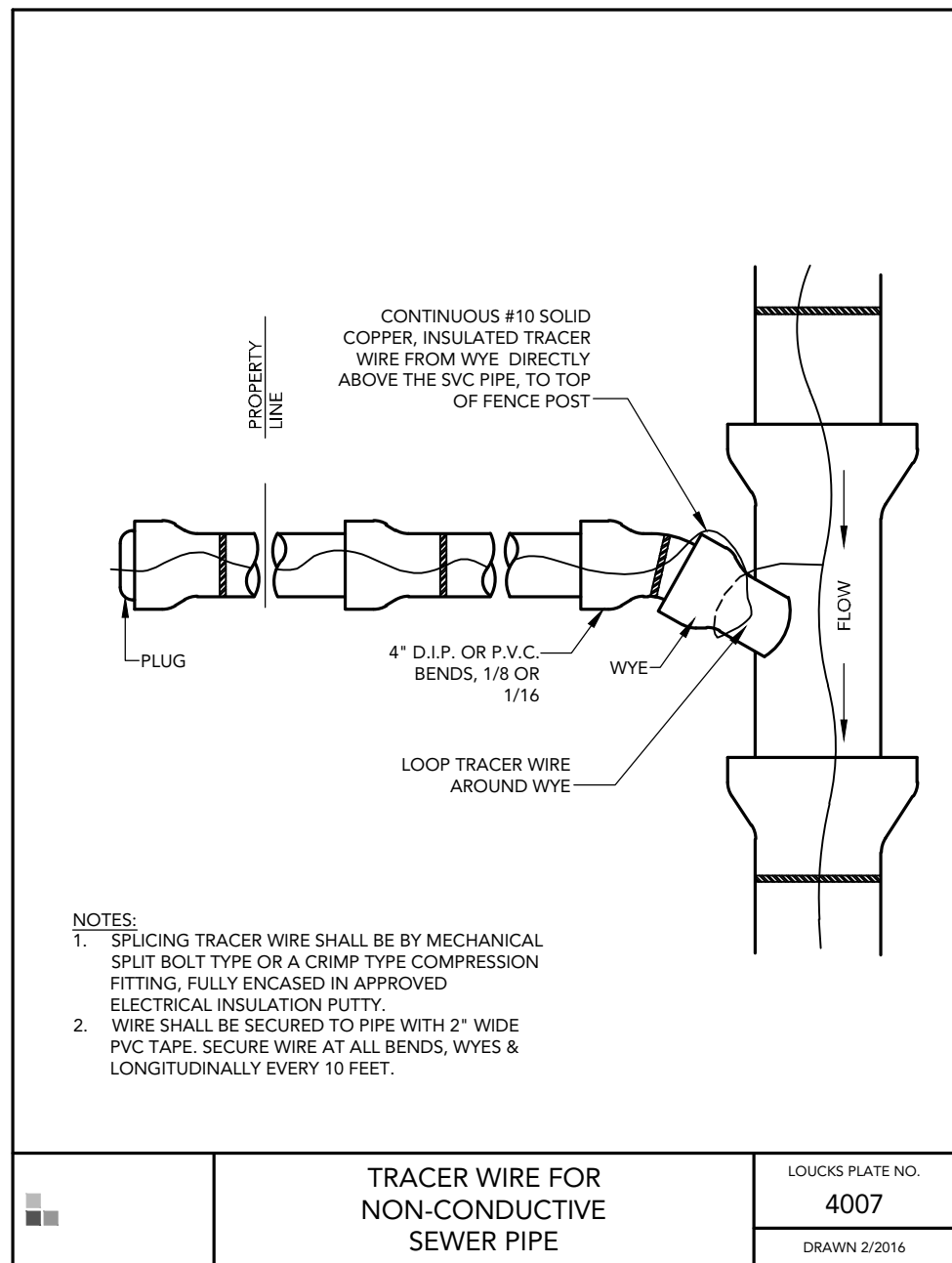
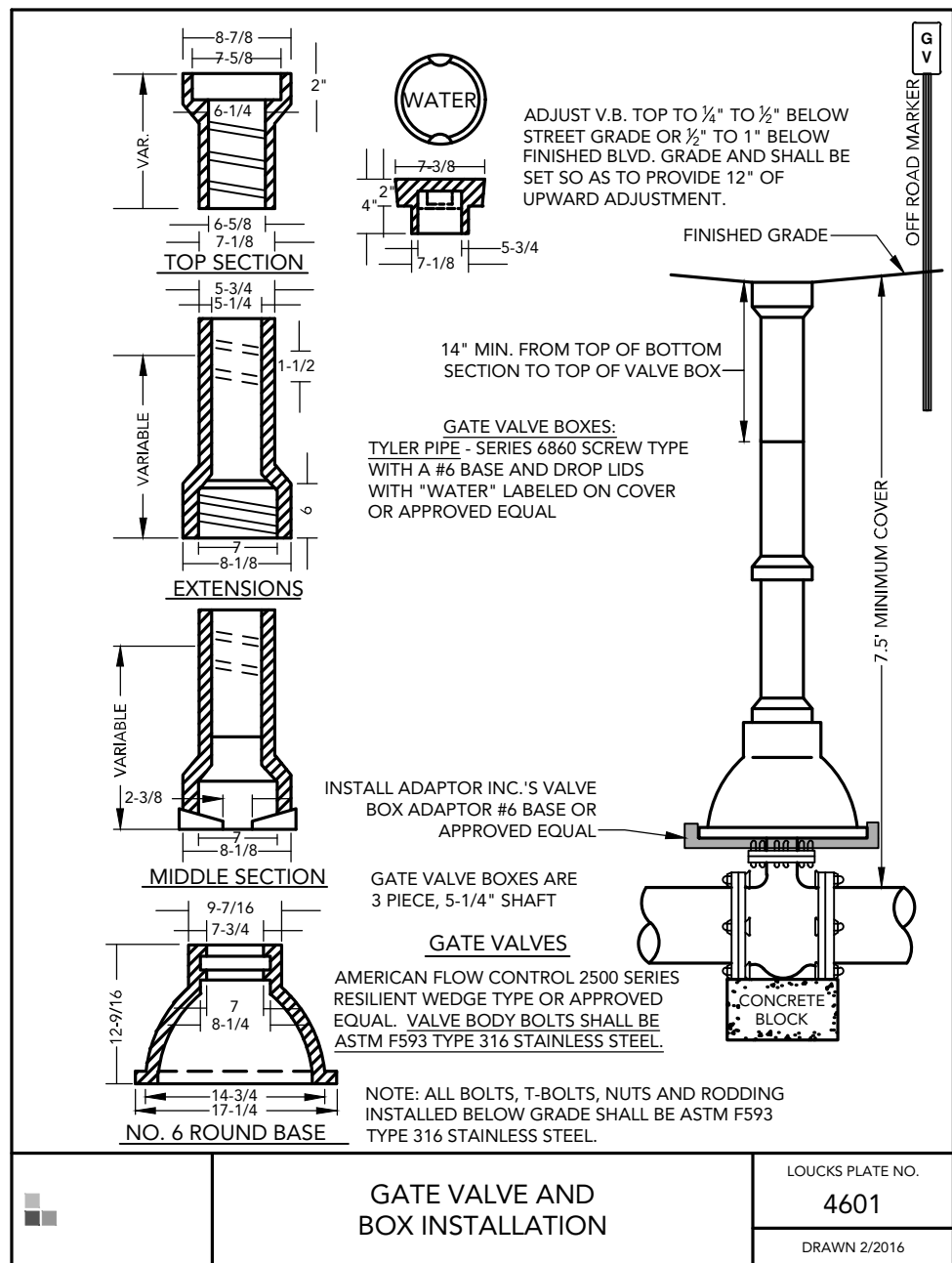
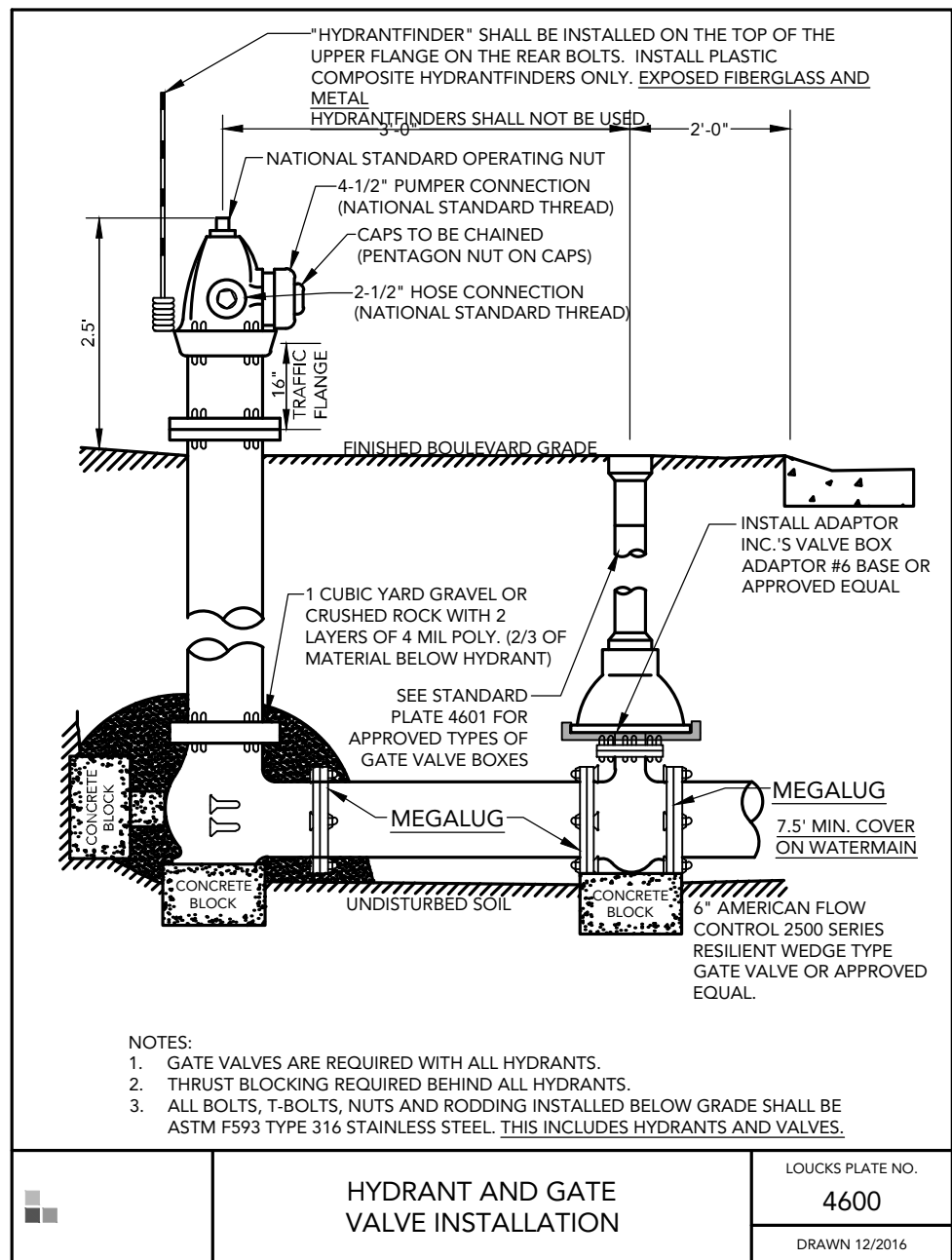
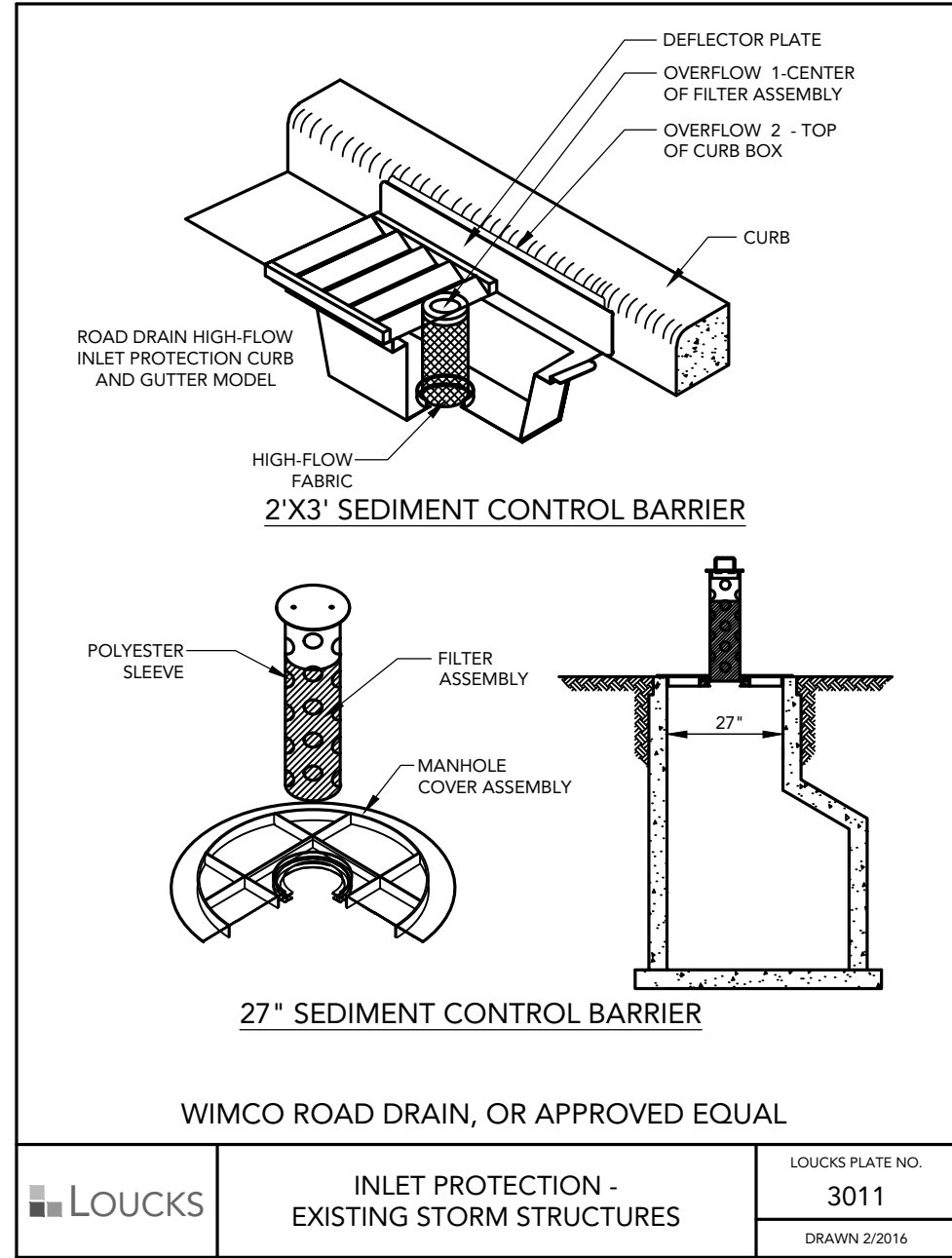
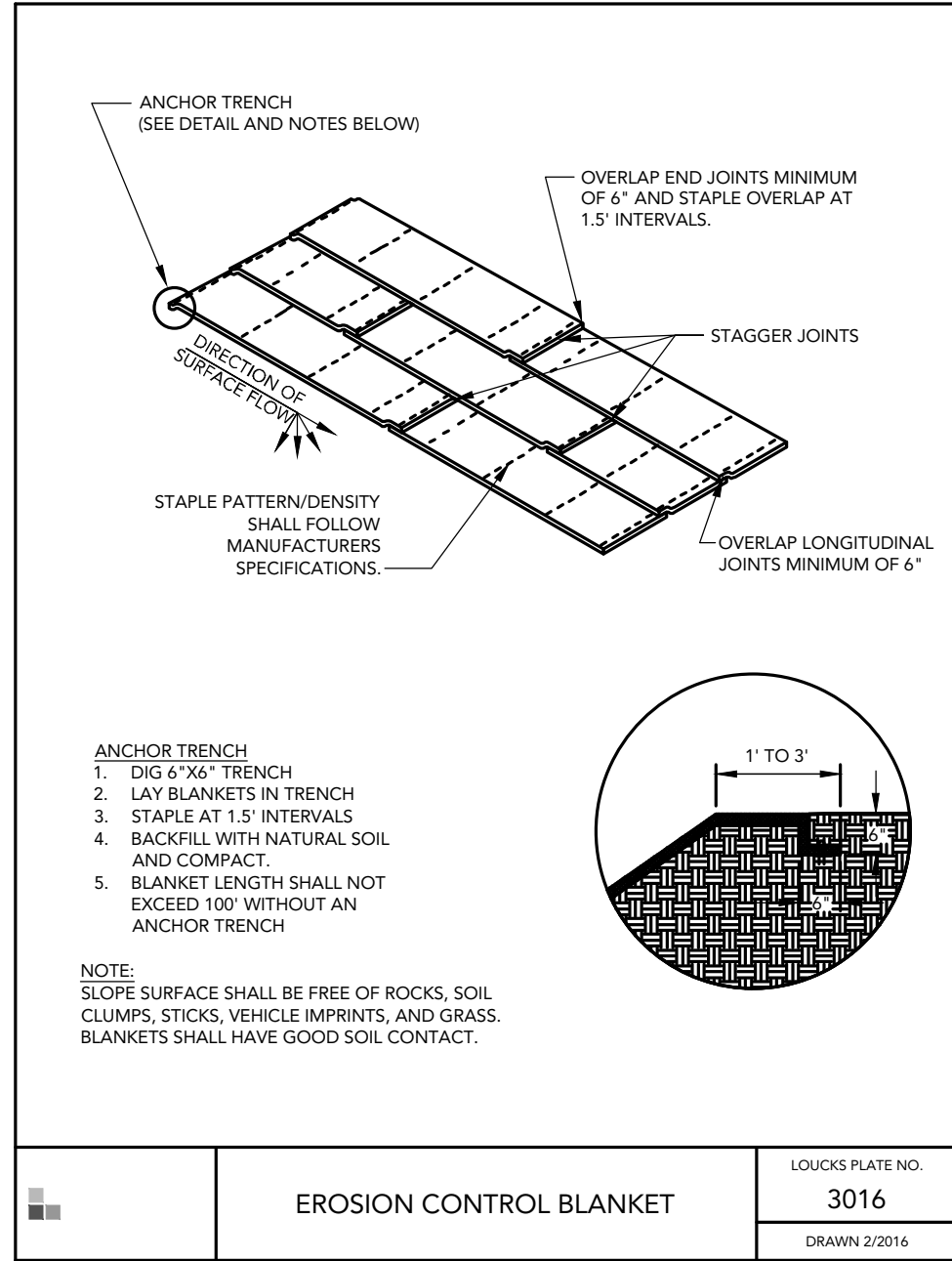
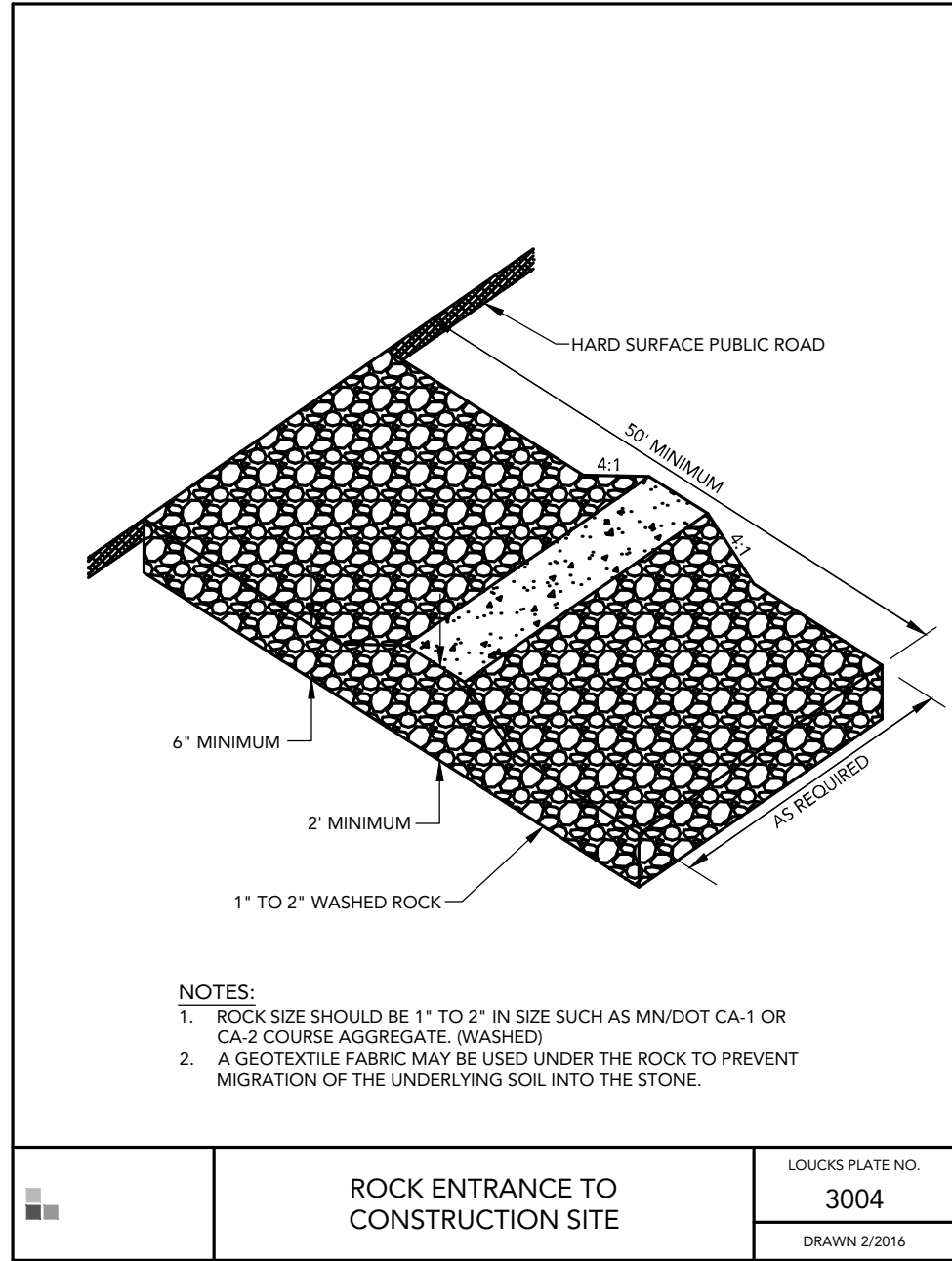
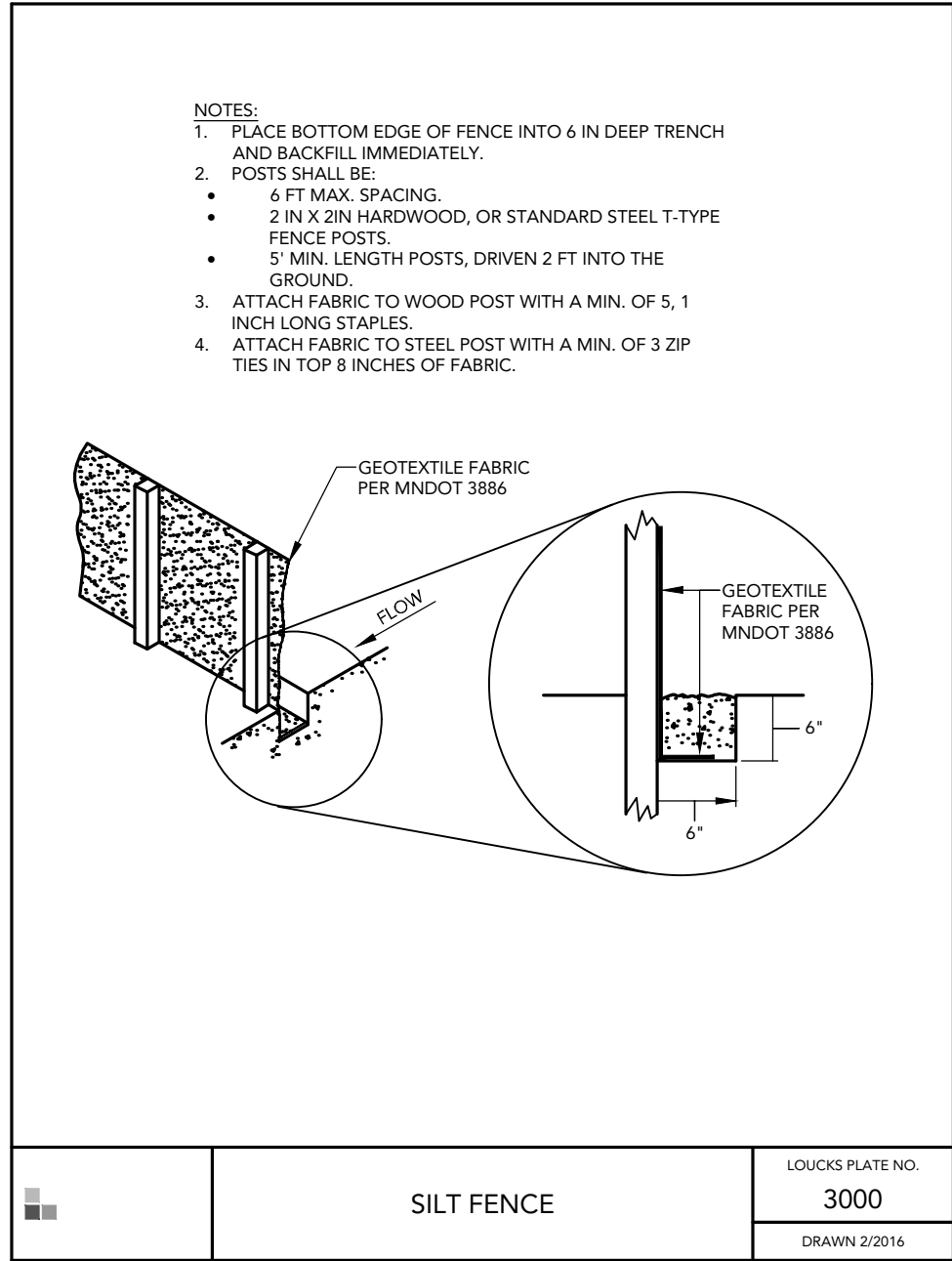
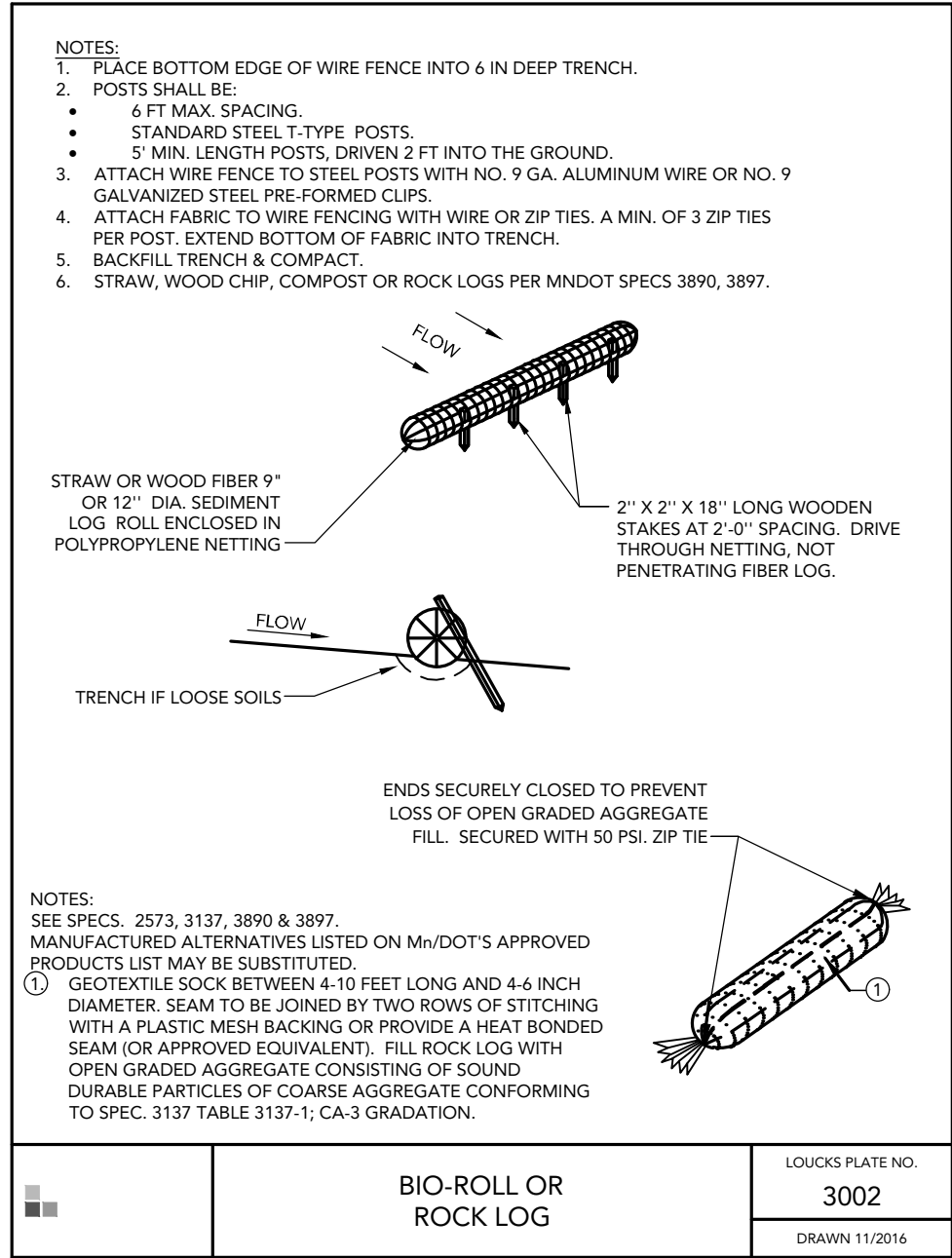
NCE Project No. 26-254
Project Lead DGB
Drawn By CAE
Checked By DGB
Review Date 06/30/26

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W:\2026\26024\CADD\Draw Sheet Files\C8-1 CIVIL DETAILS



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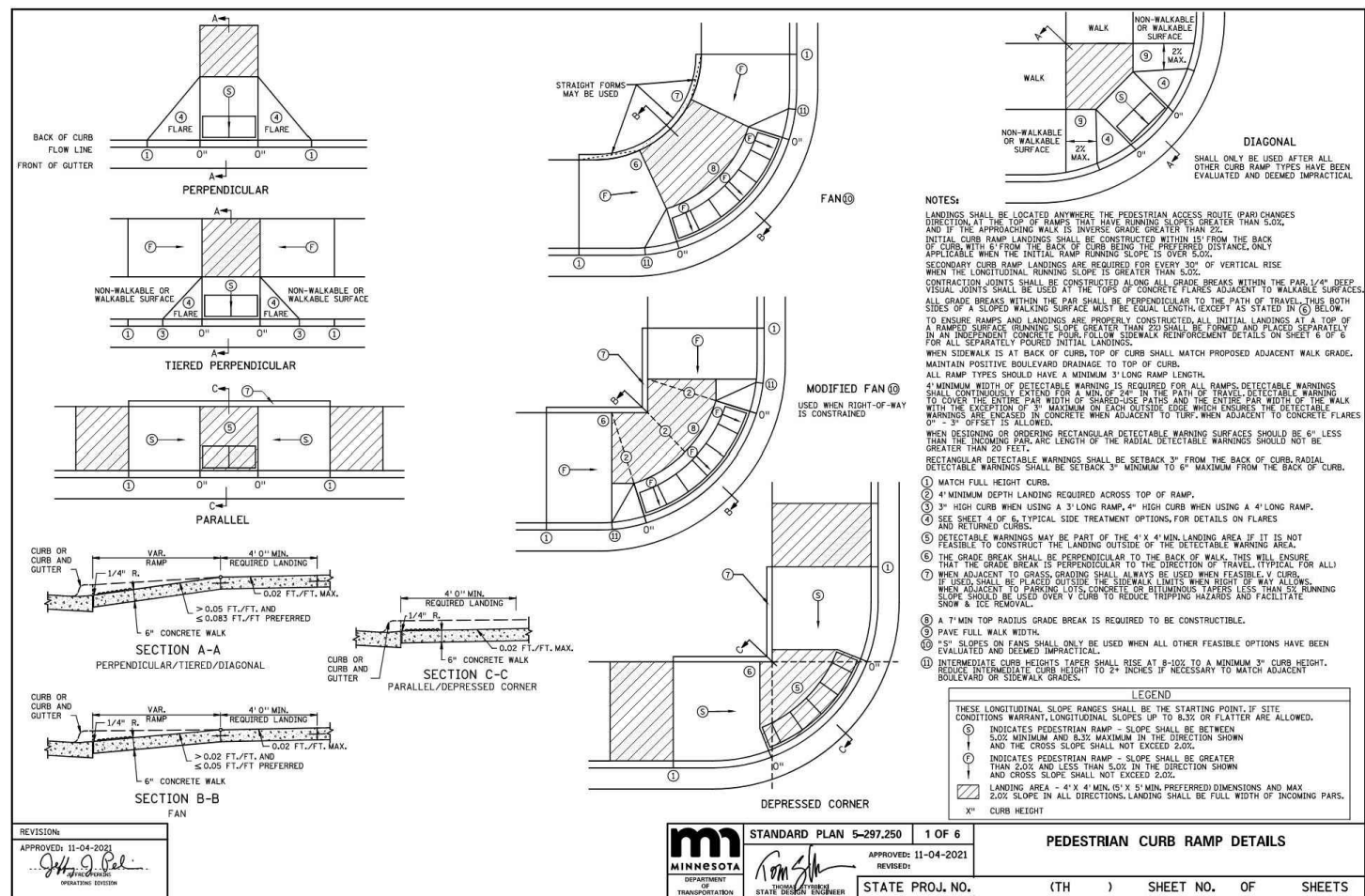
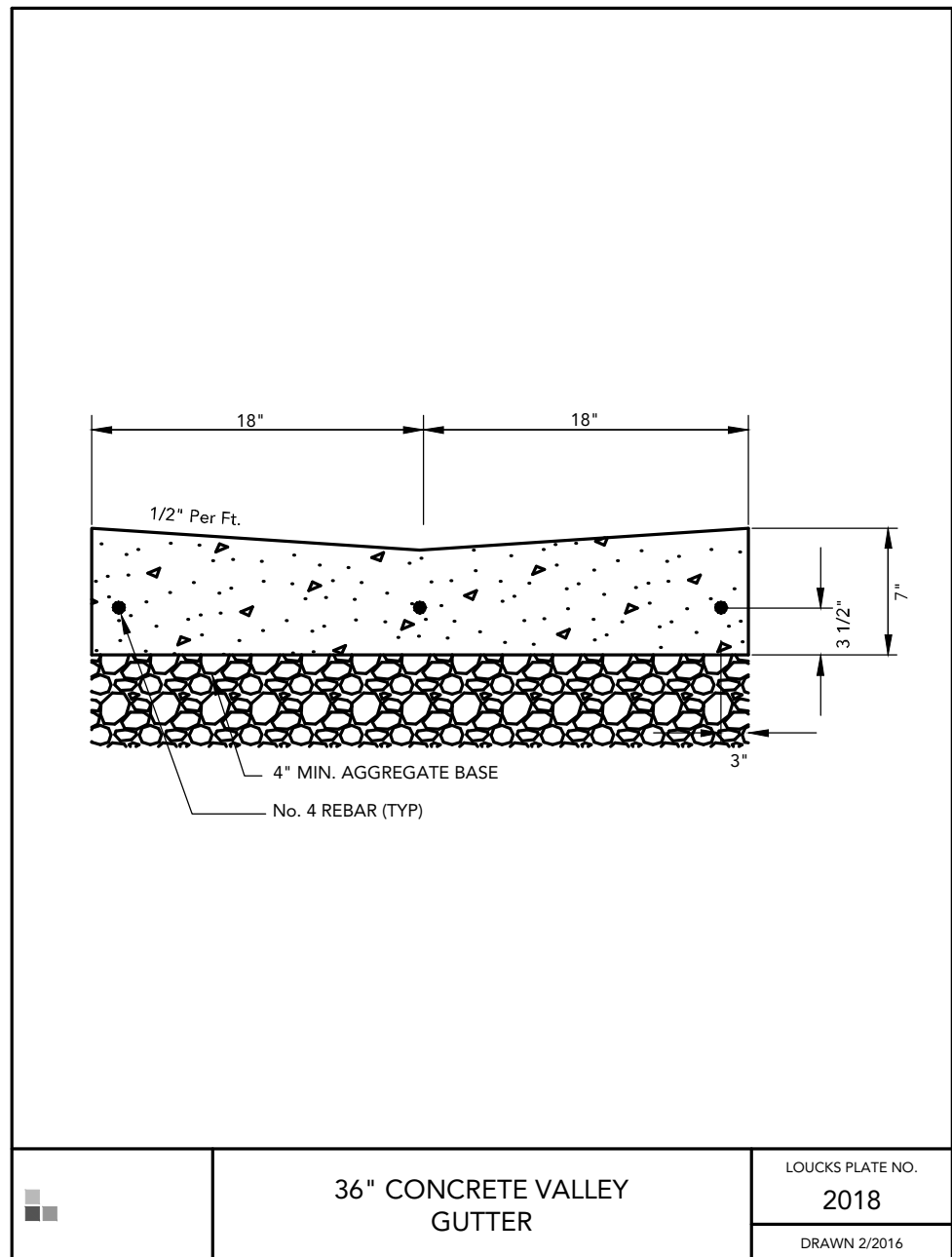
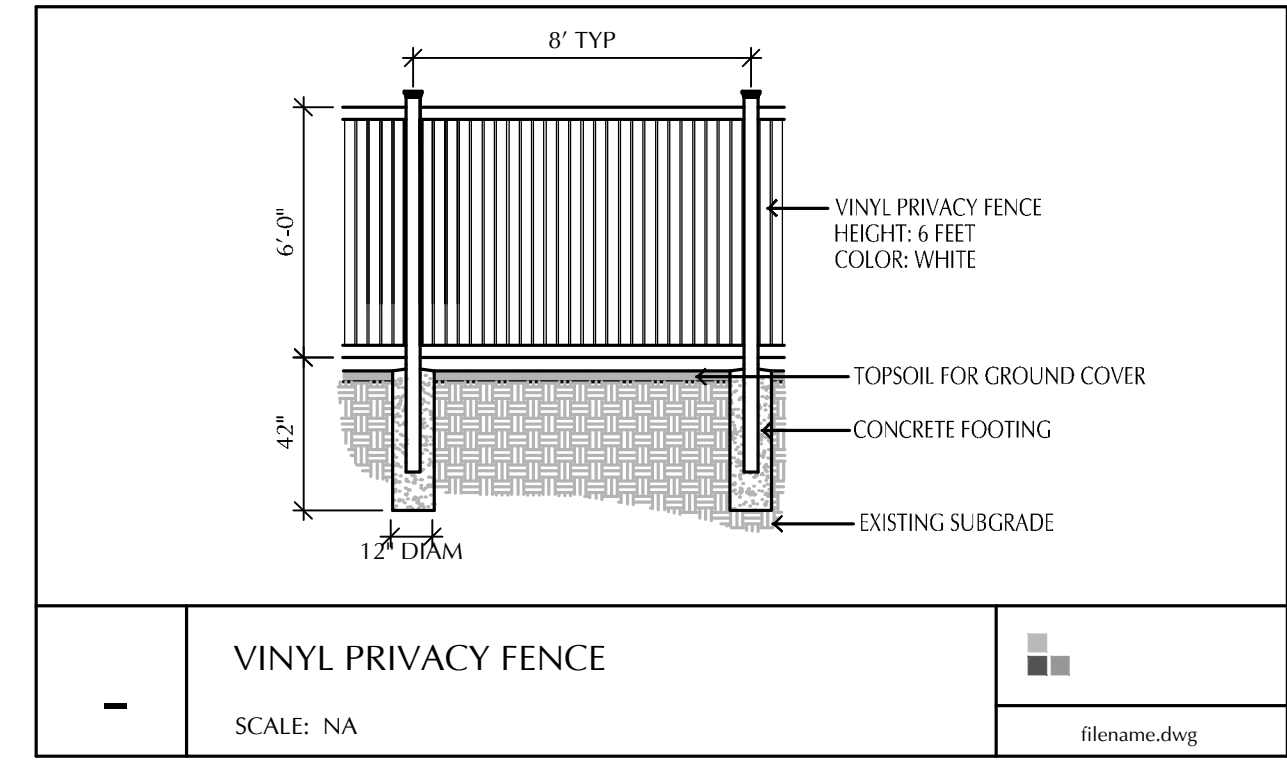
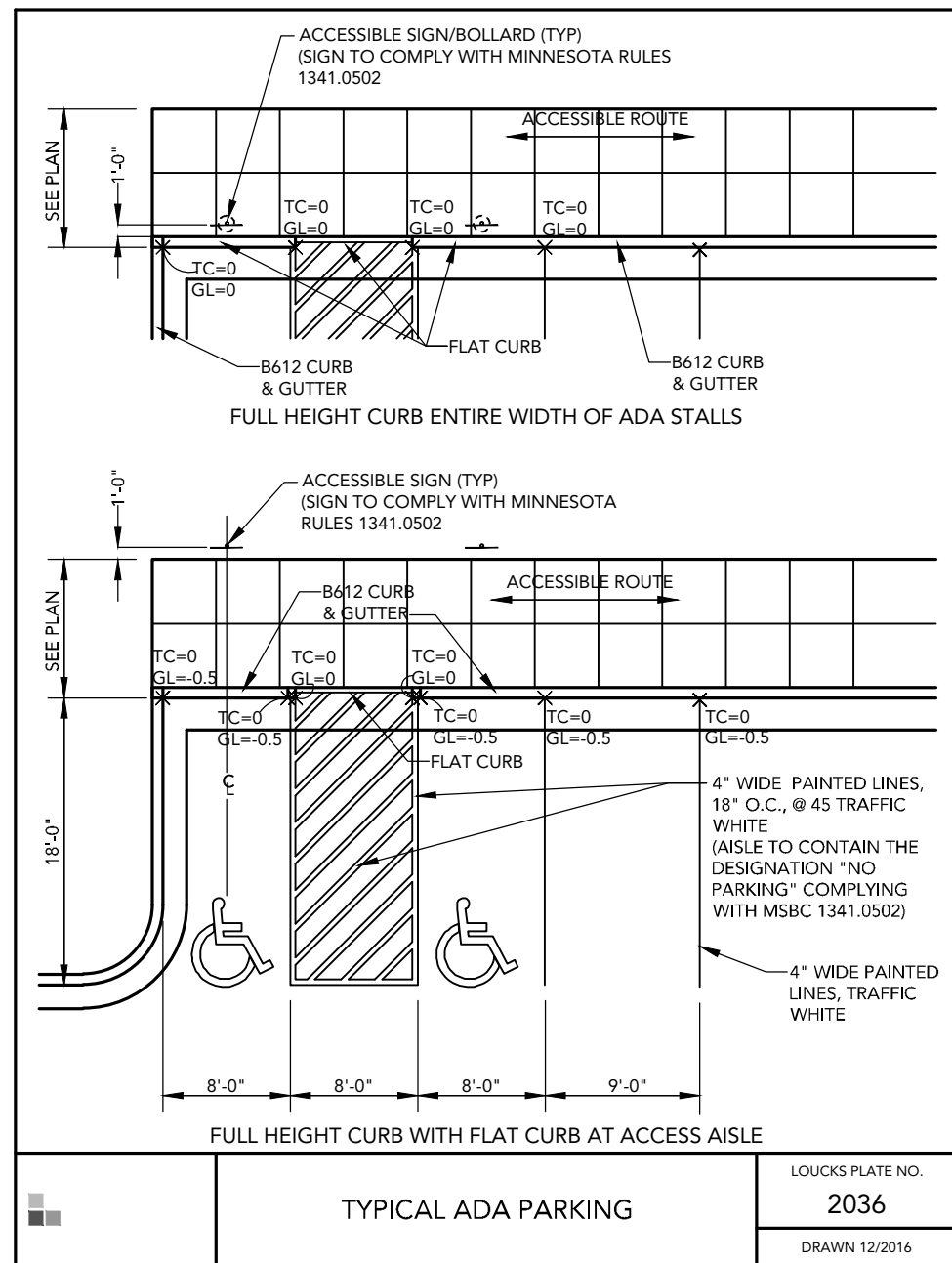
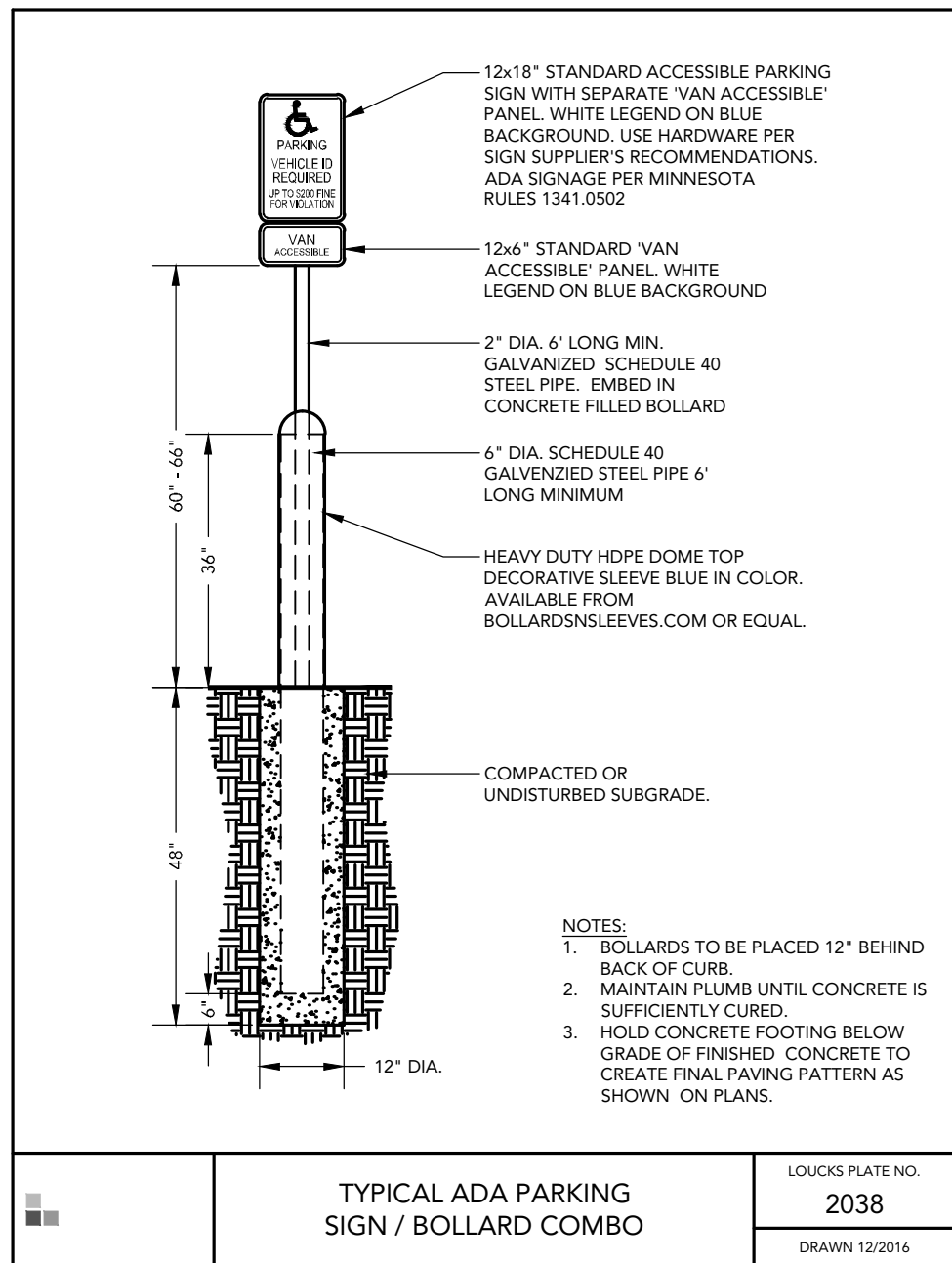
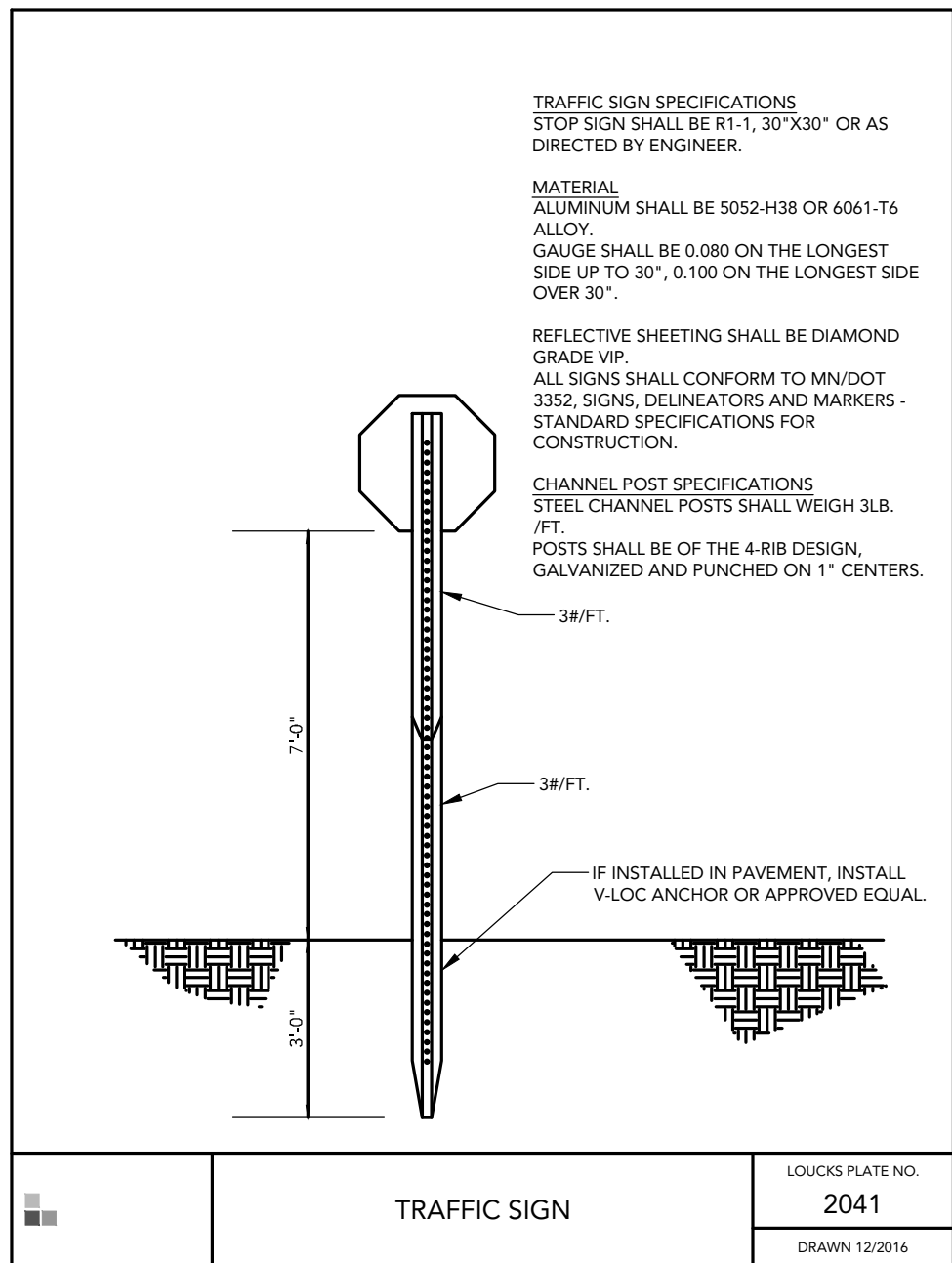
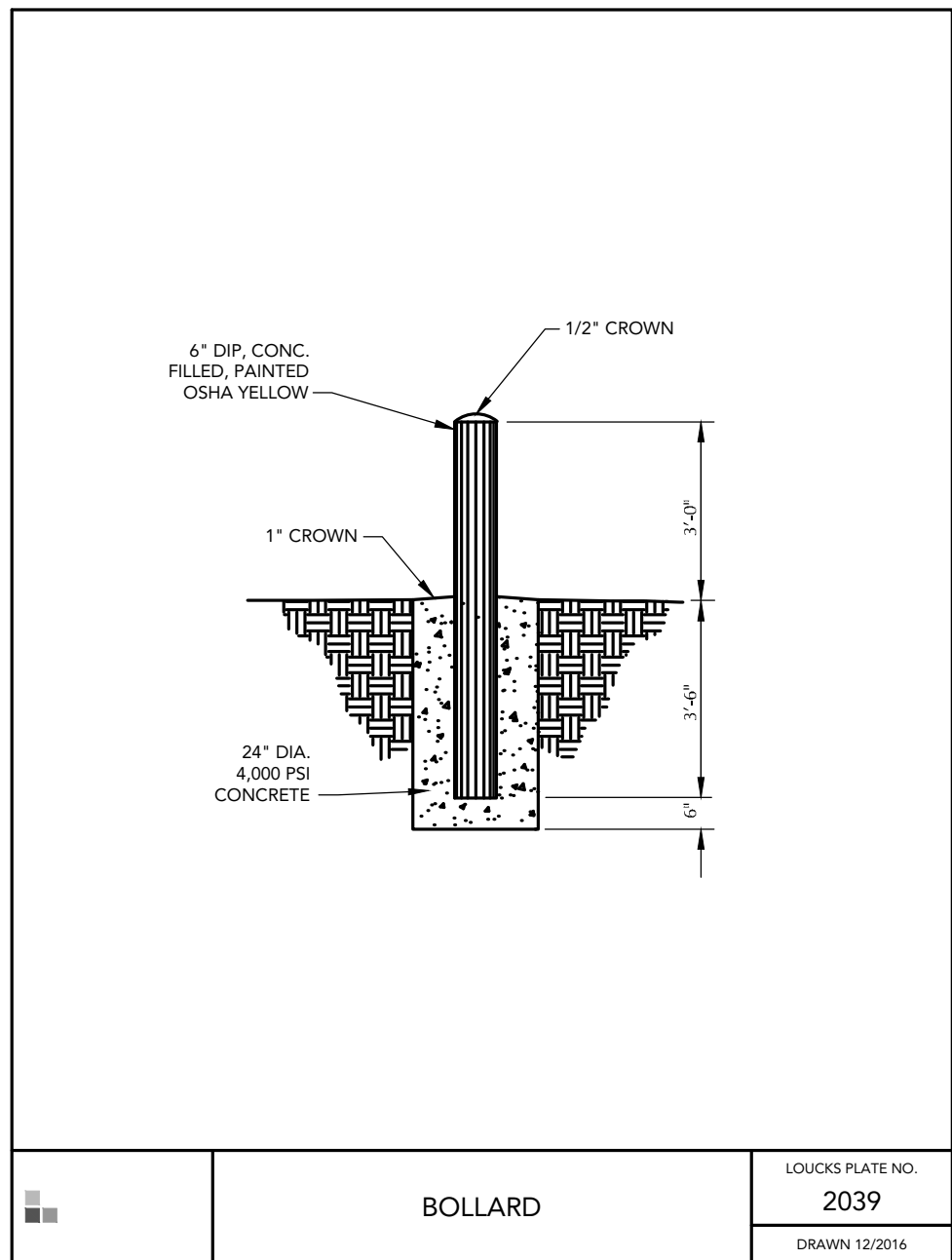
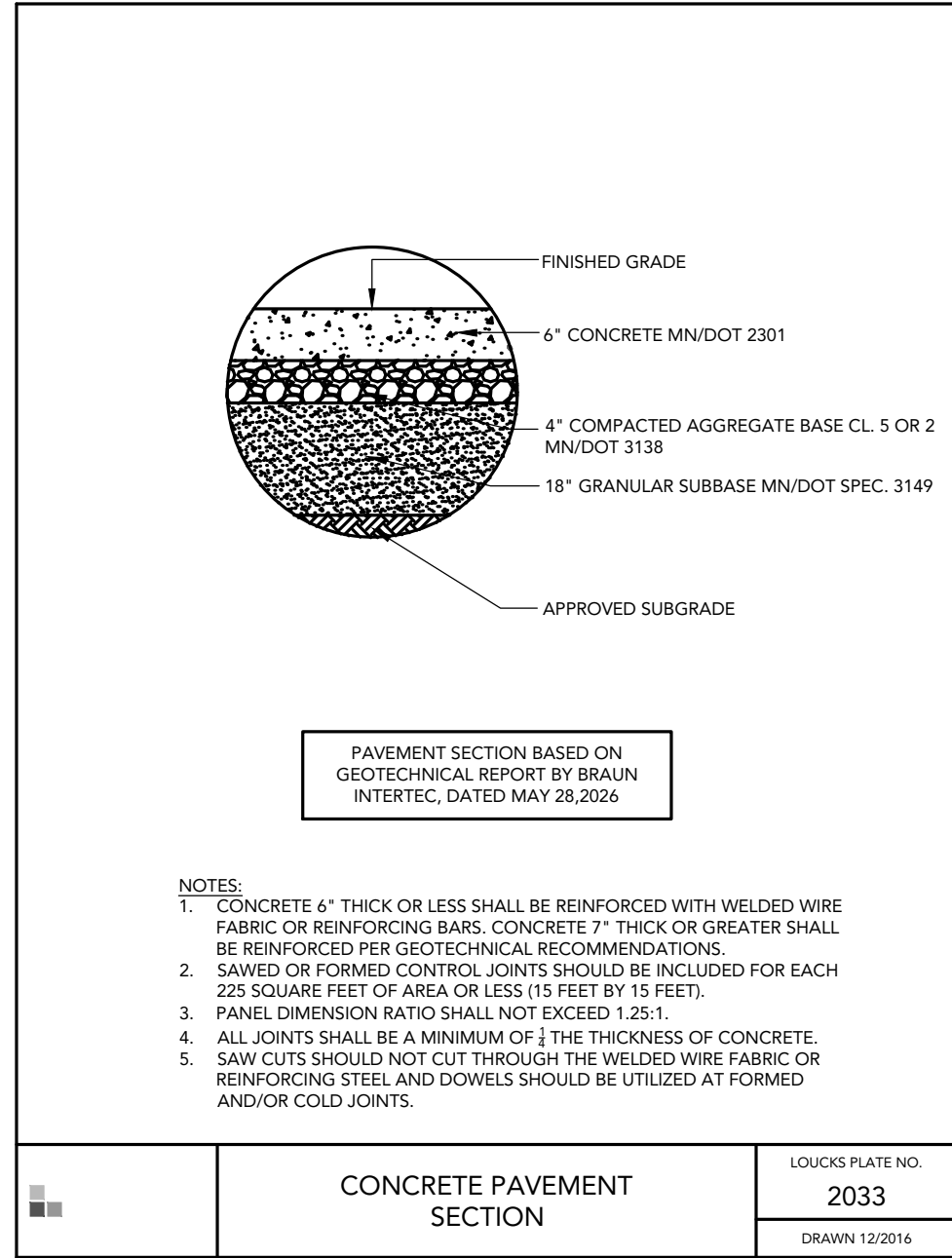
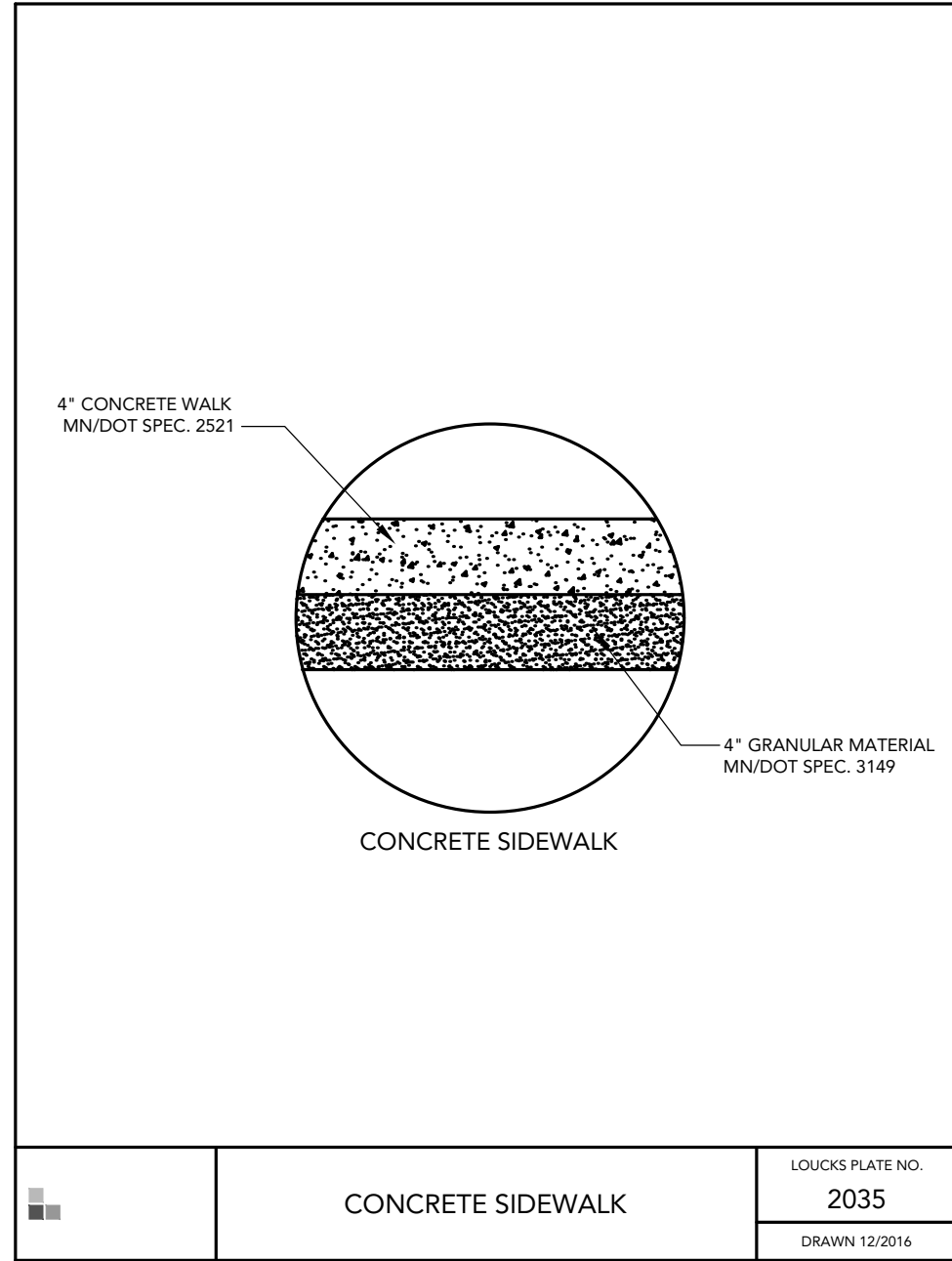
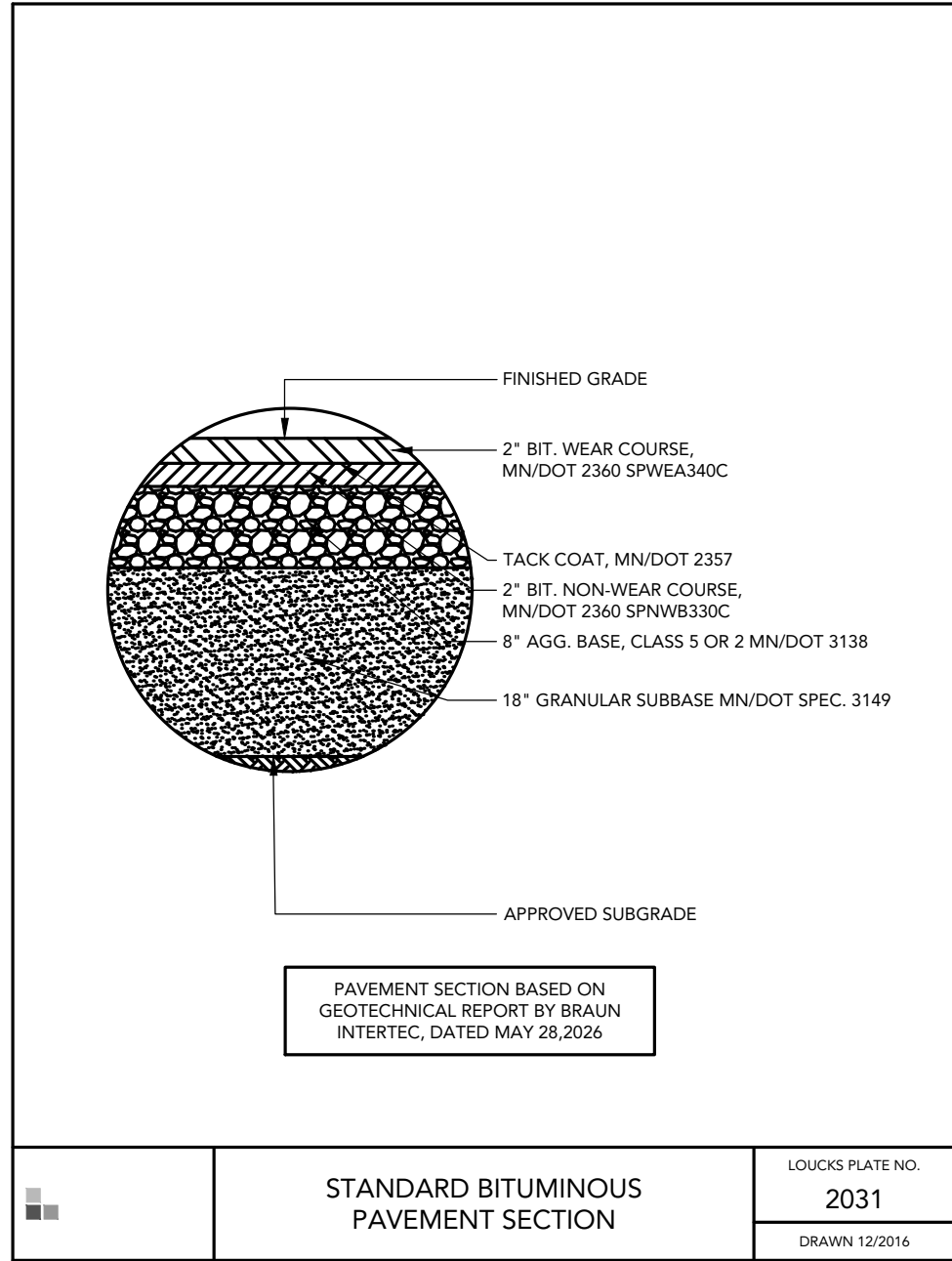
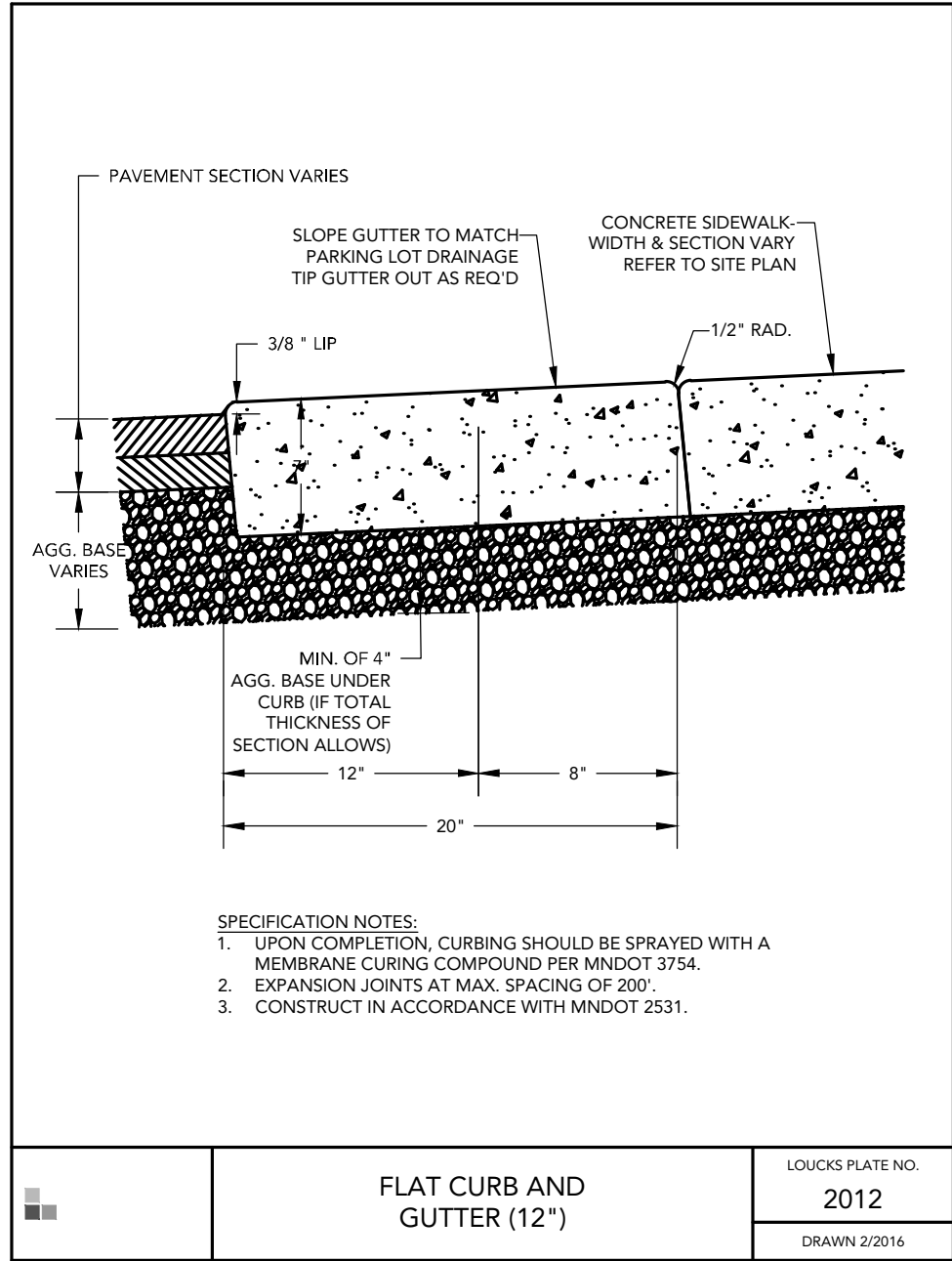
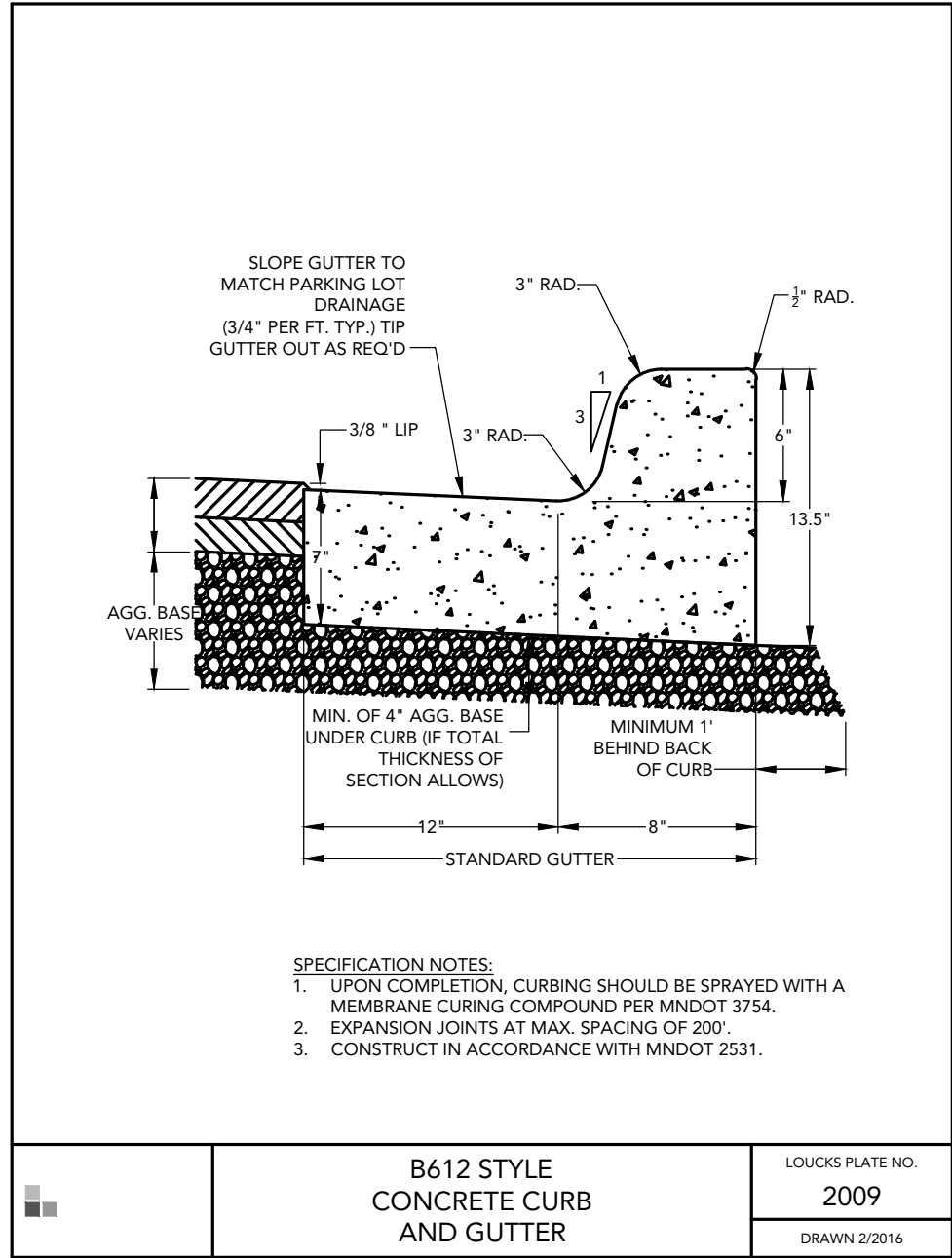
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CIVIL DETAILS

C8-1

W:\2026\26024\cadd\Drawn\Sheet Files\C8-1 CIVIL DETAILS



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License No. 40926
Date XX/XX/XX

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NCE Project No. 26-254
Project Lead DGB
Drawn By CAE
Checked By DGB
Review Date 06/30/26

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TO BE REPLACED WITH ADS STORMTECH SPECS



User Inputs

Chamber Model: SC-800
Outlet Control Structure: No
Project Name: Blaze Credit Union
Bed Name: Bed 1
Engineer: Chase E
Project Location: Minnesota
Measurement Type: Imperial
Required Storage Volume: 4000 cubic ft.
Stone Porosity: 40%
Stone Foundation Depth: 6 in.
Stone Above Chambers: 6 in.
Average Cover Over Chambers: 15 in.
Design Constraint Dimensions: (35 ft. x 70 ft.)

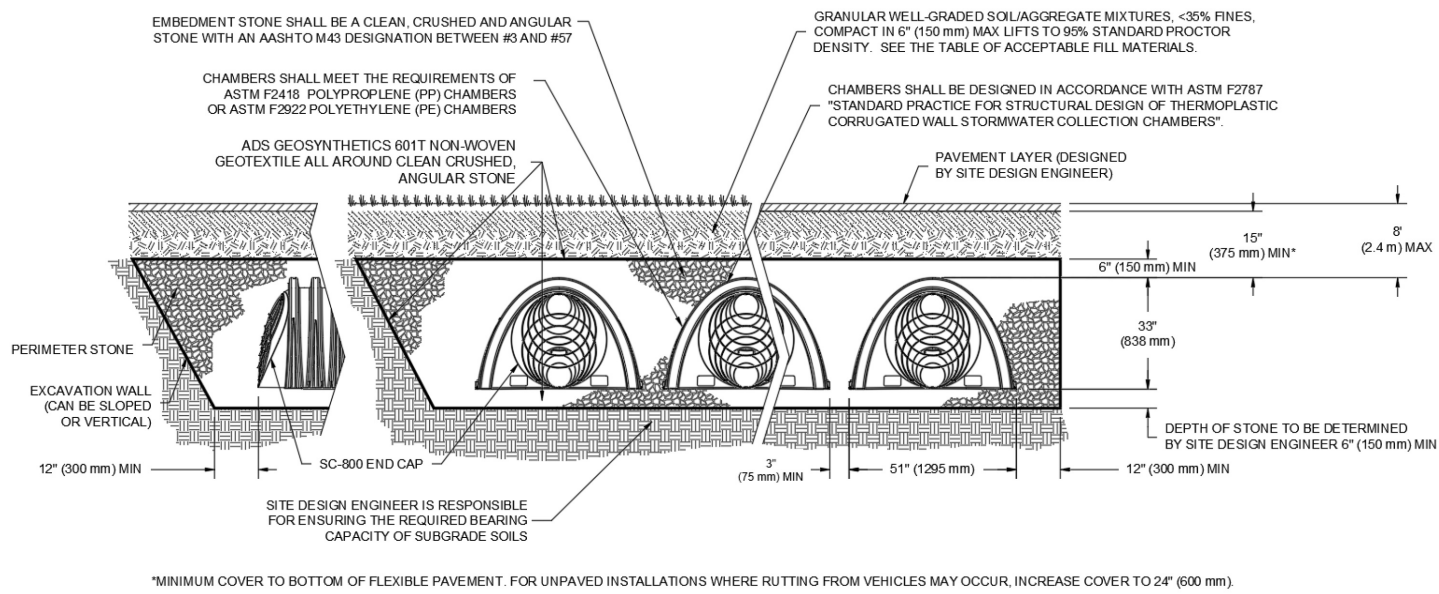
Results

System Volume and Bed Size

Installed Storage Volume: 4190.68 cubic ft.
Storage Volume Per Chamber: 50.60 cubic ft.
Number Of Chambers Required: 47
Number Of End Caps Required: 12
Chamber Rows: 6
Maximum Length: 64.61 ft.
Maximum Width: 28.75 ft.
Approx. Bed Size Required: 1825.64 square ft.

System Components

Amount Of Stone Required (0% Overage): 164 cubic yards
(Cubic yard to ton factor:1.4): 229.56 tons
Volume Of Excavation (Not Including Fill): 254 cubic yards
Total Non-woven Geotextile Required: 581 square yards
Woven Geotextile Required (excluding Isolator Row): 53 square yards
Woven Geotextile Required (Isolator Row): 40 square yards
Total Woven Geotextile Required: 92 square yards
Impervious Liner Required: 0 square yards



User Inputs

Chamber Model: SC-800
Outlet Control Structure: Yes
Project Name: Blaze Credit Union
Bed Name: Bed 2
Engineer: Chase E
Project Location: Minnesota
Measurement Type: Imperial
Required Storage Volume: 4000 cubic ft.
Stone Porosity: 40%
Stone Foundation Depth: 6 in.
Stone Above Chambers: 6 in.
Average Cover Over Chambers: 15 in.
Design Constraint Dimensions: (35 ft. x 70 ft.)

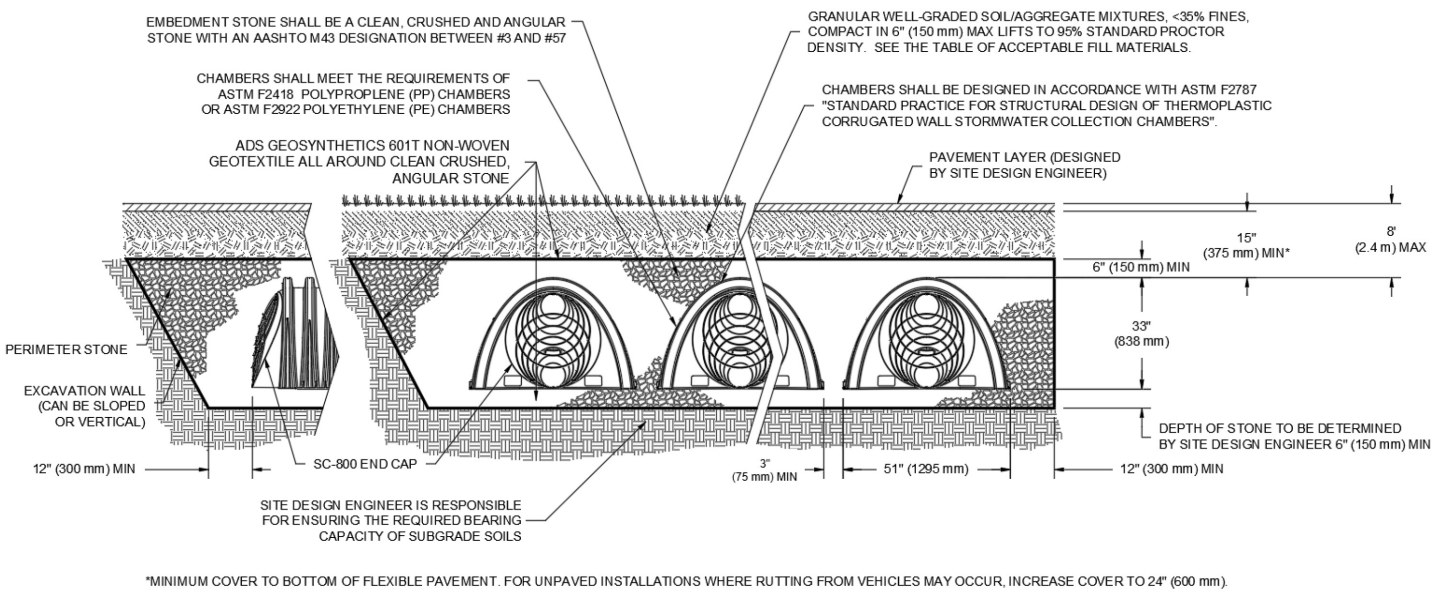
Results

System Volume and Bed Size

Installed Storage Volume: 4242.42 cubic ft.
Storage Volume Per Chamber: 50.60 cubic ft.
Number Of Chambers Required: 47
Number Of End Caps Required: 12
Chamber Rows: 6
Maximum Length: 64.61 ft.
Maximum Width: 29.35 ft.
Approx. Bed Size Required: 1860.14 square ft.

System Components

Amount Of Stone Required (0% Overage): 164 cubic yards
(Cubic yard to ton factor:1.4): 229.56 tons
Volume Of Excavation (Not Including Fill): 259 cubic yards
Total Non-woven Geotextile Required: 590 square yards
Woven Geotextile Required (excluding Isolator Row): 53 square yards
Woven Geotextile Required (Isolator Row): 40 square yards
Total Woven Geotextile Required: 92 square yards
Impervious Liner Required: 0 square yards



W:\2026\260244\cadd\Draw\LANDSCAPE\Draw Sheet Files\L0-1 TREE REPLACEMENT PLAN



TREE REMOVAL LEGEND

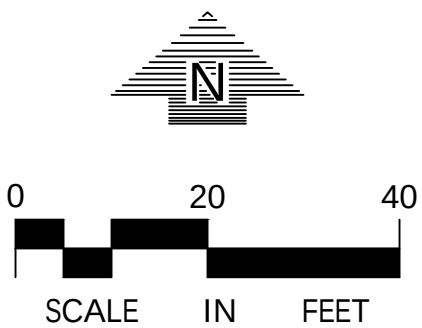
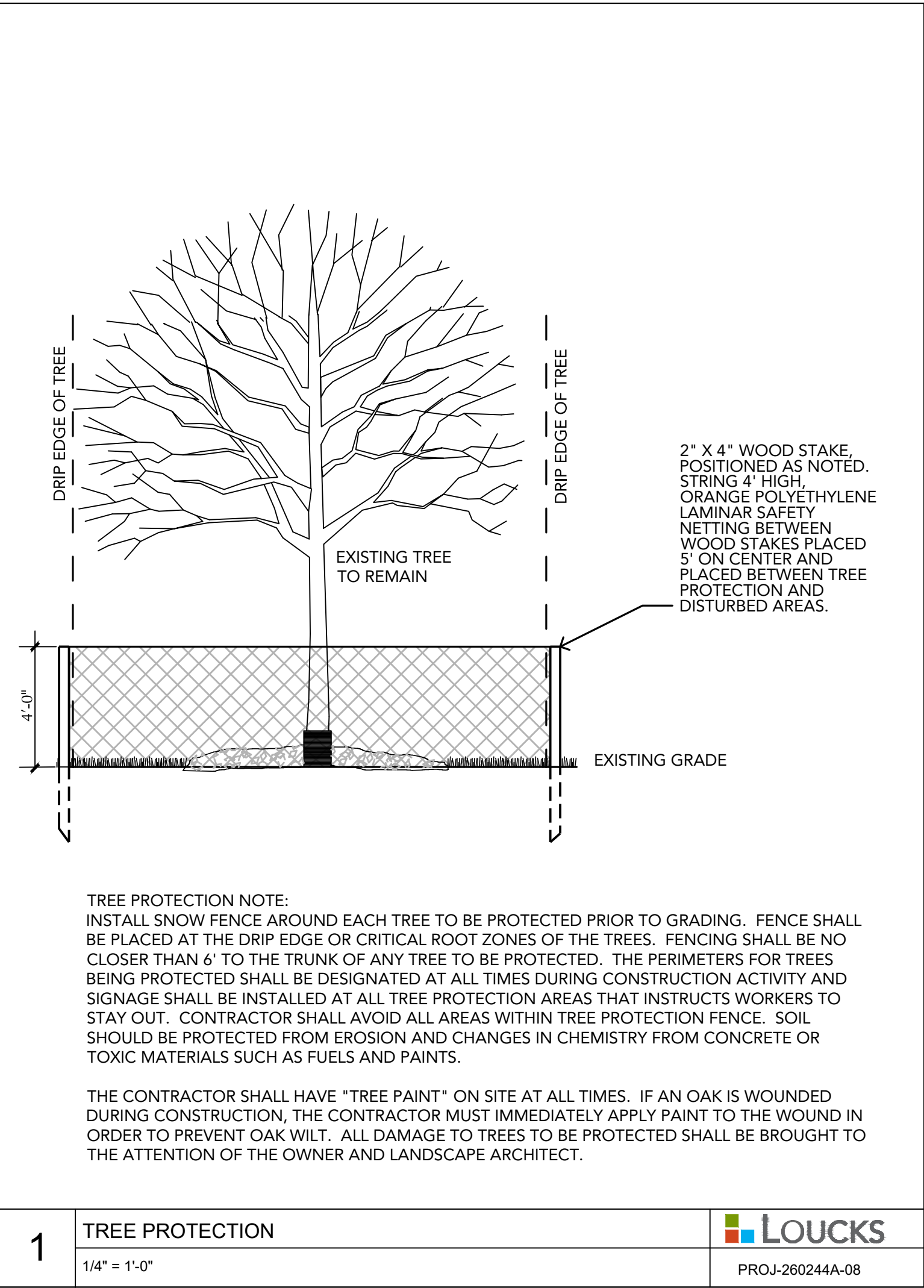
■■■■ TREE PROTECTION FENCING

✕ REMOVE EXISTING TREES

TREE CALCULATIONS

- TREES OF INTEREST (INCHES REMOVED -DBH) = 420"
- REPLACEMENT INCHES NEED (420"X 20% DBH TO BE REPLACED = 84"
- TOTAL PROPOSED CALIPER INCHES PER PLANTING PLAN = 84.5" (SEE PLANTING PLAN)

Tree ID	Cal.	Type	Status	Class	Tree ID	Cal.	Type	Status	Class
1	22	Colorado Blue Spruce	Demo	Significant	25	10	Quaking Aspen	Demo	
2	26	Colorado Blue Spruce	Demo	Significant	26	24	Colorado Blue Spruce	Demo	Significant
3	26	Colorado Blue Spruce	Demo	Significant	27	12	Quaking Aspen	Demo	Significant
4	4	Colorado Blue Spruce	Demo		28	6	Quaking Aspen	Demo	
5	10	Colorado Blue Spruce	Demo	Significant	29	6	Quaking Aspen	Demo	
6	20	Colorado Blue Spruce	Demo	Significant	30	14	Quaking Aspen	Demo	Significant
7	18	Colorado Blue Spruce	Demo	Significant	31	10	Quaking Aspen	Demo	Significant
8	6	Quaking Aspen	Demo		32	6	Quaking Aspen	Demo	
9	14	Quaking Aspen	Demo	Significant	33	8	Quaking Aspen	Demo	
10	12	Quaking Aspen	Demo	Significant	34	24	Colorado Blue Spruce	Demo	Significant
11	10	Quaking Aspen	Demo		35	24	Colorado Blue Spruce	Demo	Significant
12	8	Quaking Aspen	Demo		36	26	Colorado Blue Spruce	Demo	Significant
13	10	Quaking Aspen	Demo		37	16	Red Pine	Demo	Significant
14	6	Quaking Aspen	Demo		38	16	Red Pine	Demo	Significant
15	12	Quaking Aspen	Demo	Significant	39	6	Quaking Aspen	Demo	
16	6	Quaking Aspen	Demo		40	6	Fir	Demo	
17	10	Quaking Aspen	Demo		41	10	Fir	Demo	
18	8	Quaking Aspen	Demo		42	16	Red Pine	Demo	Significant
19	8	White Birch	Demo		43	16	Red Pine	Demo	Significant
20	18	Quaking Aspen	Demo	Significant	44	14	Red Pine	Demo	Significant
21	10	Quaking Aspen	Demo		45	12	Red Pine	Demo	Significant
22	12	Quaking Aspen	Demo	Significant	46	10	White Birch	Demo	
23	10	Quaking Aspen	Demo		47	12	White Birch	Demo	Significant
24	10	Quaking Aspen	Demo		48	14	Quaking Aspen	Demo	Significant



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

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PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

License No. 64937
Date 07/07/26

QUALITY CONTROL

Loecks Project No. 260244
Project Lead BMJ
Drawn By KRH
Checked By KRH
Review Date 06/30/26

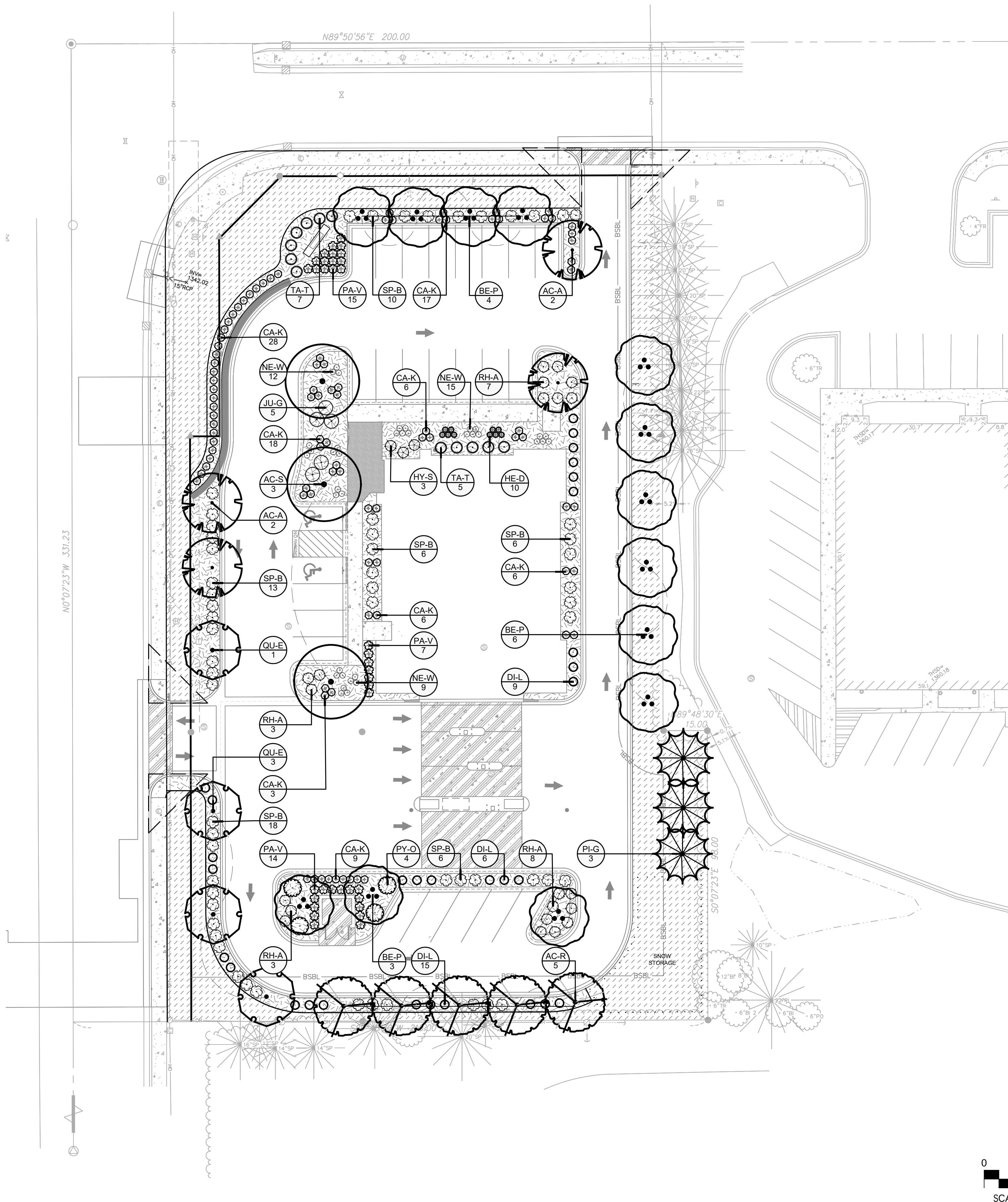
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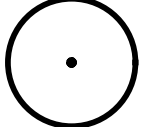
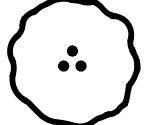
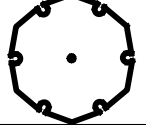
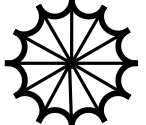
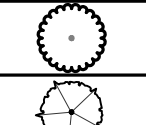
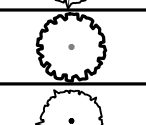
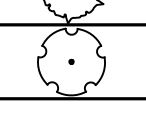
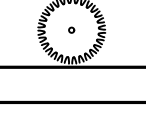
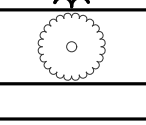
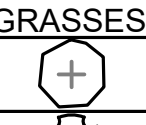
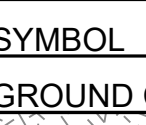
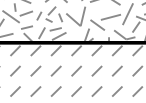
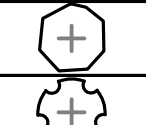
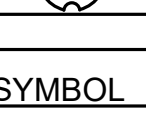
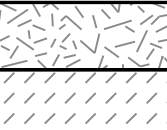
TREE
REPLACEMENT
PLAN

L0-1

W:\2026\260244\cadd\Draw Data\LANDSCAPE\Draw Sheet Files\L1-1 LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NOTES
DECIDUOUS TREES							
	AC-A	4	ACER SACCHARUM 'APOLLO'	APOLLO SUGAR MAPLE	B&B	2.5" CAL	
	AC-R	5	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	B&B	2.5" CAL	
	AC-S	3	ACER FREEMANII 'SIENNA GLEN'	SIENNA GLEN MAPLE	B&B	4" CAL	
	BE-P	13	BETULA PLATYPHYLLA 'FARGO'	DAKOTA PINNACLE® BIRCH	B&B	2.5" CAL	MUTLI-TRUNK
	QU-E	4	QUERCUS X BIMUNDORUM 'JFS-KW1QX'	STREETSPIRE OAK	B&B	2.5" CAL	
		29	SUBTOTAL:				
EVERGREEN TREES							
	PI-G	3	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B&B	6' HGT	
		3	SUBTOTAL:				
SHRUBS							
	DI-L	30	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	CONT	#5	
	HY-S	3	HYDRANGAEA ARBORESCENS 'INVINCIBELLE SPIRIT' TM	INVINCIBLE SPIRIT HYDRANGAEA	CONT	#5	
	PY-O	4	PHYSOCARPUS OPULIFOLIUS 'JEFAM' PP23,177'	AMBER JUBILEE NINEBARK	CONT	#5	
	RH-A	21	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	CONT	#5	
	SP-B	59	SPIRAEA BETULIFOLIA 'TOR GOLD'	TORCH SPIREA	CONT	#5	
		117	SUBTOTAL:				
CONIFEROUS SHRUBS							
	JU-G	5	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	CONT	#5	
	TA-T	12	TAXUS X MEDIA 'TAUNTON'	TAUNTON YEW	CONT	#5	
		17	SUBTOTAL:				
PERENNIALS							
	HE-D	10	HEMEROCALLIS X 'STELLA DE ORO'	STELLA D' ORO DAYLILY	CONT	#1	
	NE-W	36	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	CONT	#1	
		46	SUBTOTAL:				
GRASSES							
	CA-K	93	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	CONT	#1	
	PA-V	36	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	CONT	#1	
		129	SUBTOTAL:				
SYMBOL	CODE	BOTANICAL NAME		COMMON NAME			
GROUND COVERS							
	HM-1		HARDWOOD MULCH				
	TS-1		TURF SOD	*USER DEFINED			

Required Parking lot perimeter screening — \$50-25.4(A)			
Requirement	Code standard	Street Frontage (445 LF)	Provided
Trees	1 tree per 35 LF	13 trees 445 ÷ 35 = 12.7 → round up	11
Large shrubsNo berm/fence	3 large shrubs per 25 LF	54 large shrubs 445 ÷ 25 × 3 = 53.4 → round up	59
Min. width	5 ft	5 ft along all parking edges facing street	5' Typical
Interior parking lot landscaping — \$50-25.4(B)			
Requirement	Code standard	Parking Lot Area (24,660 SF)	Provided
Min. landscape area	10% of interior parking lot area	2,466 SF	4,032 SF
	25-50 space lots	24,660 × 10% = 2,466 SF	
Trees	1 tree per 300 SF of interior landscape area	9 trees	12 (include 5 Street Frontage Trees)
		2,466 ÷ 300 = 8.2 → round up	
Tree canopy coverage	30% at maturity	7,398 SF at maturity	7987.25 SF
	Combined with perimeter trees	24,660 × 30%	Proposed Mature Canopy Total SF(31,941) x 25% coverage over parking lot
Min. island width	8 ft minimum	All landscape islands must be ≥ 8 ft wide	Islands drawn at > 8 ft wide



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Gopher State One Call

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TOLL FREE: 1-800-252-1166

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CADD QUALIFICATION

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SUBMITTAL/REVISIONS

07/07/26 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

License No. 64937
Date 07/07/26

QUALITY CONTROL

Loucks Project No. 260244
Project Lead BMJ
Drawn By KRH
Checked By KRH
Review Date 06/30/26

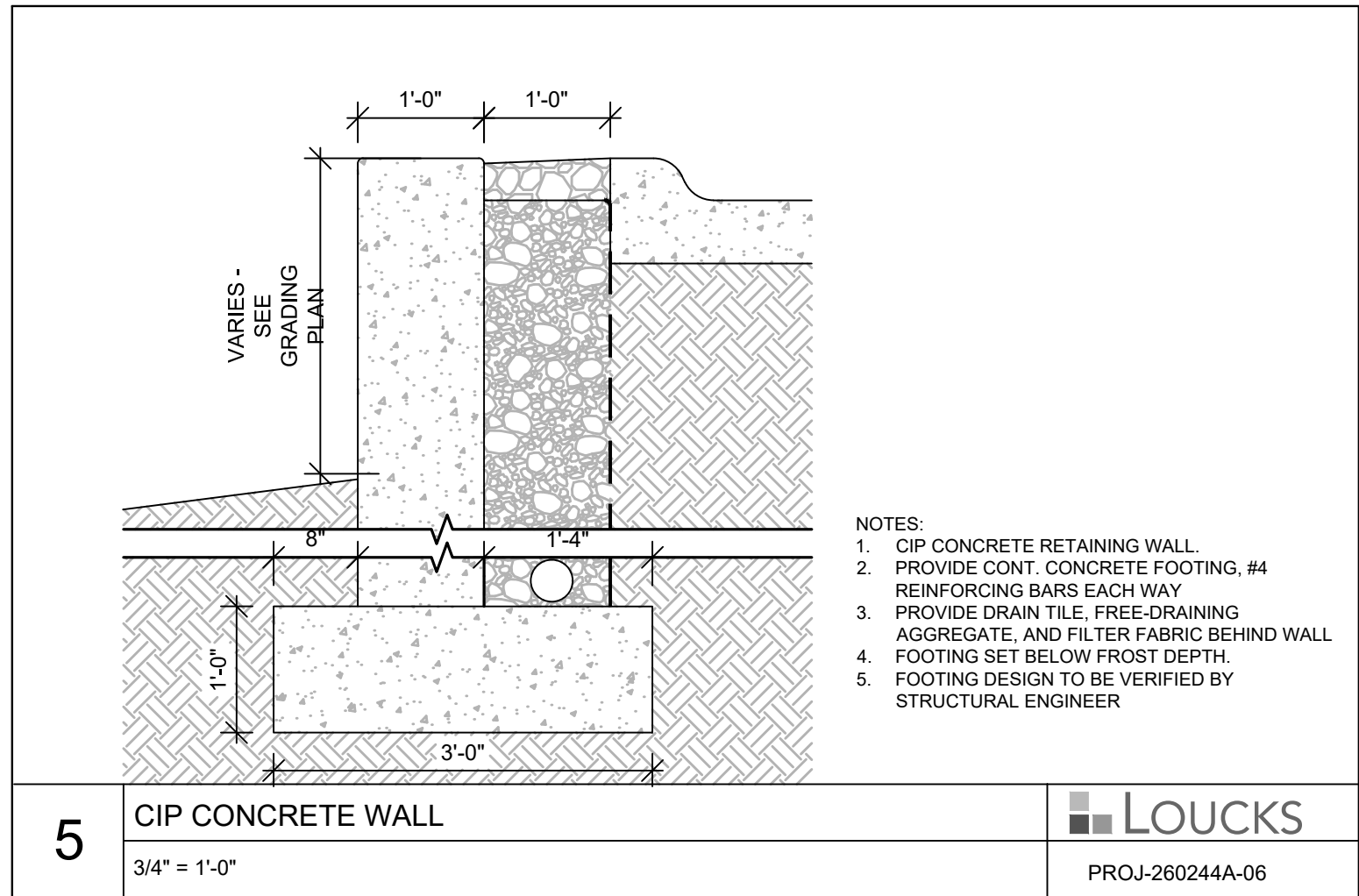
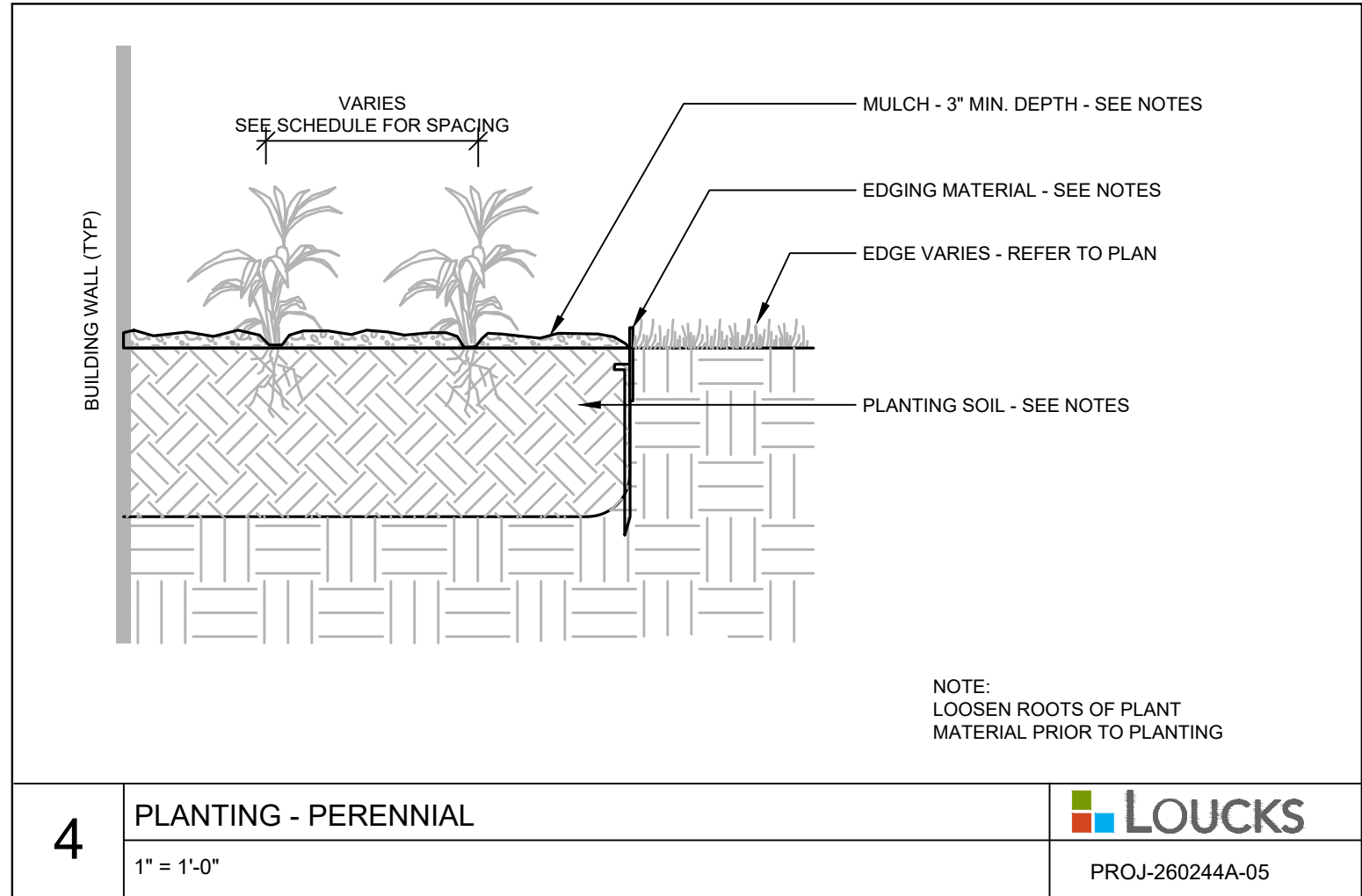
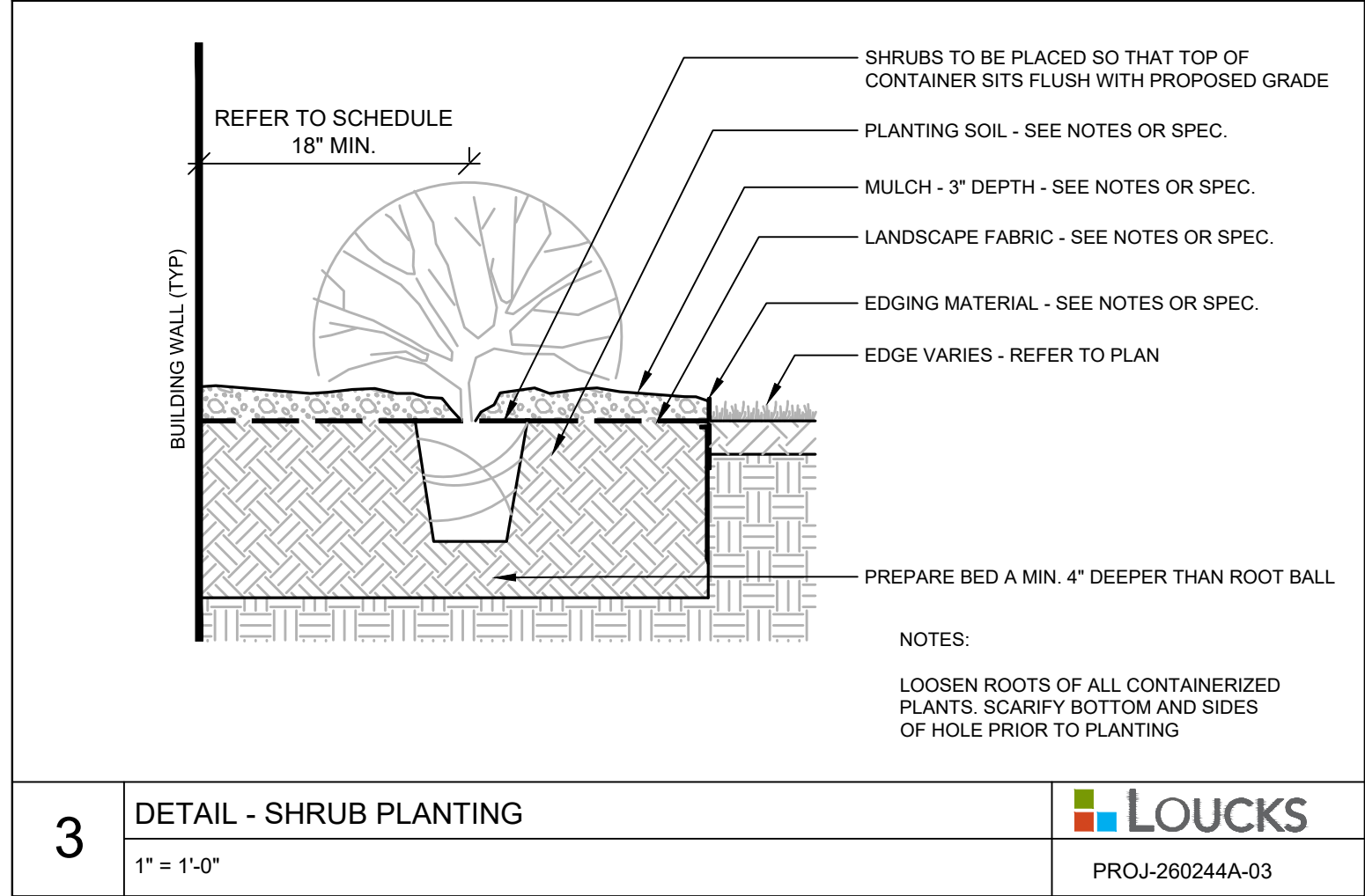
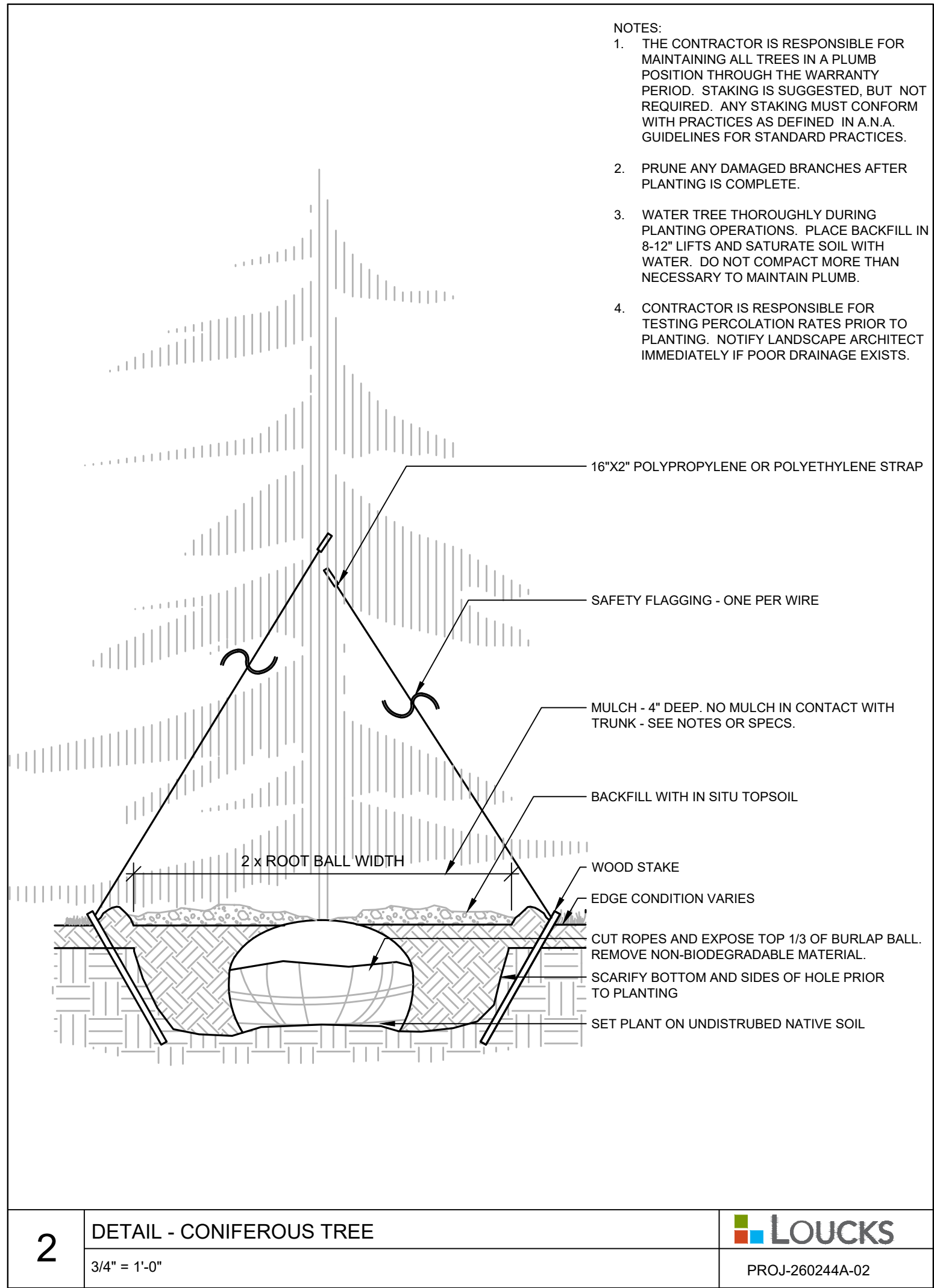
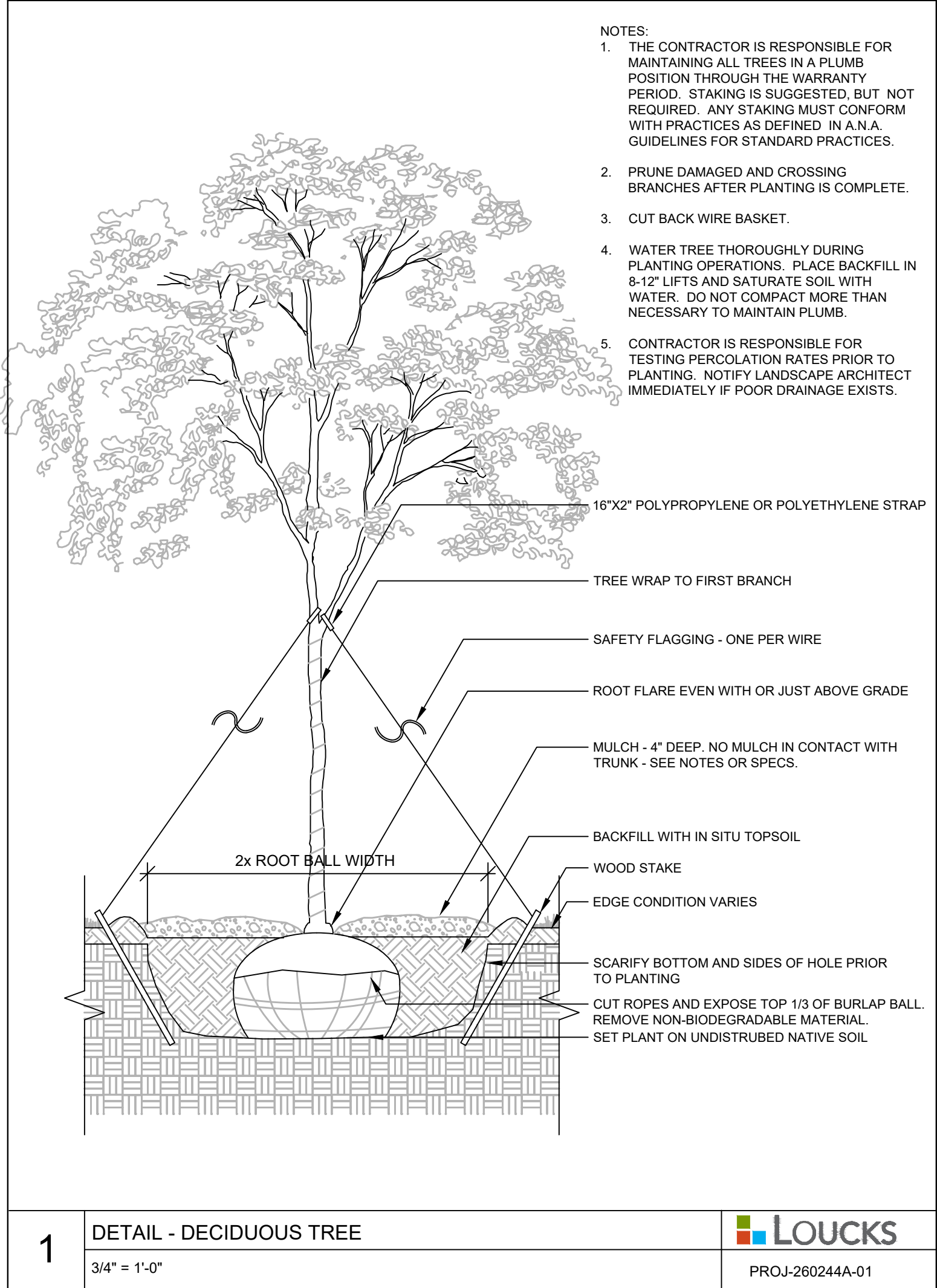
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LANDSCAPE
PLAN

L1-1

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LANDSCAPE INSTALLATION:

GENERAL NOTES

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, THE CONTRACTOR MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.

PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.

SOIL & GROUND COVER

ALL PLANTING AREAS RECEIVING PLANTED GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 24" DEPTH OF PLANTING SOIL (MNDOT 3877 - 2B OR EQUAL).

WHERE SOD / SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD / SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE Laid PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

LANDSCAPE CONTRACTOR SHALL VERIFY THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

PLANTINGS INFO

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR / ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR / ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR / ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND / OR QUOTATION.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

FERTILIZER

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

EDGING FOR PLANTING BEDS

BLACK METAL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD / SEED UNLESS NOTED OTHERWISE.

PLANTING BED PREPARATION

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH RING WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED / INDICATED ON DRAWING OR IN SPECIFICATION.

INSPECTION AND WARRANTY

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE / PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE (1) FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TIMING OF INSTALLATION

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED / SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED; ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

TREES ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

IRRIGATION NOTES:

VERIFY EXISTING / PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND / OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT NOR SHALL THE SYSTEM SPRINKLE THE BUILDING.

THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.



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SUBMITTAL/REVISIONS

07/07/26 CITY SUBMITTAL

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Date 07/07/26

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LANDSCAPE
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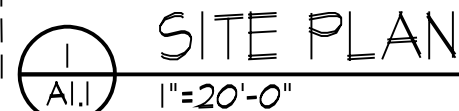
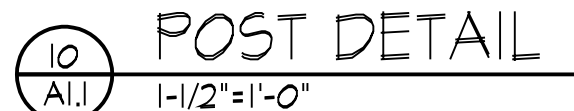
L2-1

LOT ZONING: MU-C - MIXED USE-COMMERCIAL BANK BRANCHES W/ DRIVE-UP FACILITIES ARE A PERMITTED USE (TABLE 50-19.B)	
MAIN LEVEL SQ.FT. : 5,050 S.F. DRIVE-UP CANOPY : 1,328 S.F.	
PARKING MAX. (5 STALLS PER 1,000 SF) PARKING SHOWN DRIVE-UP STACKING LANDSCAPING STREET FRONTAGE SETBACKS NO MORE THAN 50 PERCENT OF OFF-STREET ACCESSORY PARKING WITHIN THE FRONT YARD BUFFERING REQD. BETWEEN RESIDENTIAL DISTRICT 4 DRIVE THROUG LANES. A DENSE URBAN SCREEN AND DRIVE THROUGH SHALL NOT BE OPEN PAST 10:00 PM (50-20.3 SUBD E) PARKING SIZE REQD. 90 DEGREE ANGLE PARKING BICYCLE PARKING REQD.	5,050 /1,000 = 25 STALLS MAX X STALLS 3 CARS PER LANE (50-20.3, SUBD. E) FRONT- 15', SIDE-10', REAR- 5' PARKING PARKING WITHIN THE FRONT YARD 20 FT. ONE WAY, 24FT TWO WAY RACK FOR 2 BICYCLES + 5% OF PARKING
STRUCT. MINIMUM DEPTH OF REAR YARD STRUCT. MINIMUM DEPTH OF SIDE YARD STRUCT. MINIMUM DEPTH OF FRONT YARD MINIMUM LOT FRONTAGE	0'-0" OR 15'-0" (SEE TABLE 50-15.3-I) 0'-0" OR 15'-0" (SEE TABLE 50-15.3-I) 0'-0" < 35'-0" HT. 12'-0" < 35'-0" HT. 0'-0" NON-RESIDENTIAL
ALLOWABLE PRIMARY BUILDING HEIGHT PRIMARY BUILDING HEIGHT SHOWN	45'-0" MAX. (NON-RESIDENTIAL) 28'-10"
TRASH CONTAINERS PERMITTED IN SIDE AND REAR YARDS (TABLE 50-21-I) SETBACKS ACCESSORY STRUCTURES CLOSER THAN 5 FT. TO ANY REAR LOT LINE CLOSER THAN 3 FT. TO ANY SIDE LOT LINE CLOSER THAN 10 FT. TO ANY PRINCIPAL STRUCTURE ON AN ADJOINING PROPERTY	

- I. ALL SITE GRADING PER CIVIL DRAWINGS.
- II. VERIFY & LOCATE ALL UNDERGROUND PHONE & UTILITY LINES PRIOR TO ANY EXCAVATION.
- III. SEE CIVIL & MECH/ELEC. DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE UTILITIES.
- IV. BARRICADE OFF CONSTRUCTION AREA AS REQUIRED. KEEP CONSTRUCTION AREA TO A MINIMUM.
- V. SLOPE SIDEWALKS & GRADE AWAY FROM BUILDING - TYPICAL 1:20 MAX. SLOPE.
- VI. MATCH NEW CONSTRUCTION WITH EXISTING WHEREVER NECESSARY (IE CONC. CURBS, CONC. WALKS, PAVING, ETC).
- VII. CUT NEW GRADING INTO EXISTING GRADING.
- VIII. GUT & PATCH EXTG. BITUMINOUS PAVING, CONC. CURBS & SIDEWALKS TO MATCH EXISTING.
- IX. ALL MECH. & ELEC. EXPOSED PIPING, GRILLES, CONDUTS, ETC. TO BE PAINTED.
- X. SEE CIVIL FOR ADDITIONAL & SPECIFIC INFORMATION ON SITE PLAN.
- XI. PROVIDE SLEEVE FOR IRRIGATION WIRING. PLACE DRAIN SLEEVE FOR IRRIGATION LINE. TYP. - SEE CIVIL.

COMPLY WITH ACCESSIBILITY REGULATIONS PER MINNESOTA STATE BUILDING ACCESSIBILITY CODE, ANSI A-117.1 2005 & 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN FOR THE ACCESSIBLE ROUTE INTO THE BUILDING.

- (1) FURNISH & INSTALL POSTED HANDICAP SIGNS AS REQUIRED BY STATE CODE - SEE DETAIL T/A2.2
- (2) 18" WIDE PAINTED SOLID STRIPING - V.F.Y.
- (3) TRASH CAN - C.F.C.I., SEE SPEC.
- (4) FIRE DEPARTMENT CONNECTION, SEE MECH.
- (5) DIRECTIONAL SIGNAGE, N.I.C.
- (6) BITUM. PAVEMENT- SEE CIVIL AND GEOTECH. REPORT
- (7) REINF. CONC. PAVEMENT - SEE CIVIL AND GEOTECH. REPORT
- (8) CONC. WALK ON 6" COMP. SAND- SEE CIVIL
- (9) SEE 1/a1.2 FOR PAVEMENT LAYOUT.
SEE SPEC. FOR MORE INFO.
- (10) ELEC. TRANSFORMER- SEE ELEC.
COORD. LOC. W/ UTIL. PROVIDER, DIMS.
TO CENTER OF XFMR & PAD.
- (11) CONDENSING UNITS- SEE MECH.
- (12) SCREEN WALL FOR MECH. EQUIP. SEE 10/a1.2
COORD. POSTS W/ DRAIN TILES.
- (13) CONC. PAD FOR MECH. EQUIP.- SEE 10/a1.2
- (14) CONCRETE APRON & PAD FOR TRASH- SEE
ENLARGED PLAN 3/A2.2
- (15) 6"Ø PIPE BOLLARDS, TYP.
- (16) GAS METER - SEE MECH.
- (17) CT CABINET - SEE ELEC.
- (18) 4" WIDE PAINTED STRIPES, TYP. ON
BITUMINOUS SURFACE. COORD. COLOR W/
LOCAL MUNICIPALITY



1010 Mainstreet, Suite 100
Hopkins, MN. 55343
Tel: 952.278.8880

Blaze
CREDIT UNION

4088 HAINES RD.
DULUTH, MN 55811

[illegible]

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF

REG. NO. _____ DATE _____

SITE PLAN

DRAWN BY: KMJ CHECKED BY: KMJ

A1.1

PROJECT



Blaze
CREDIT UNION

NEW BUILDING

**4088 HAINES RD.
DULUTH, MN 55811**

[illegible]

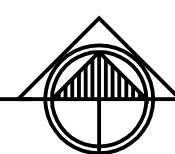
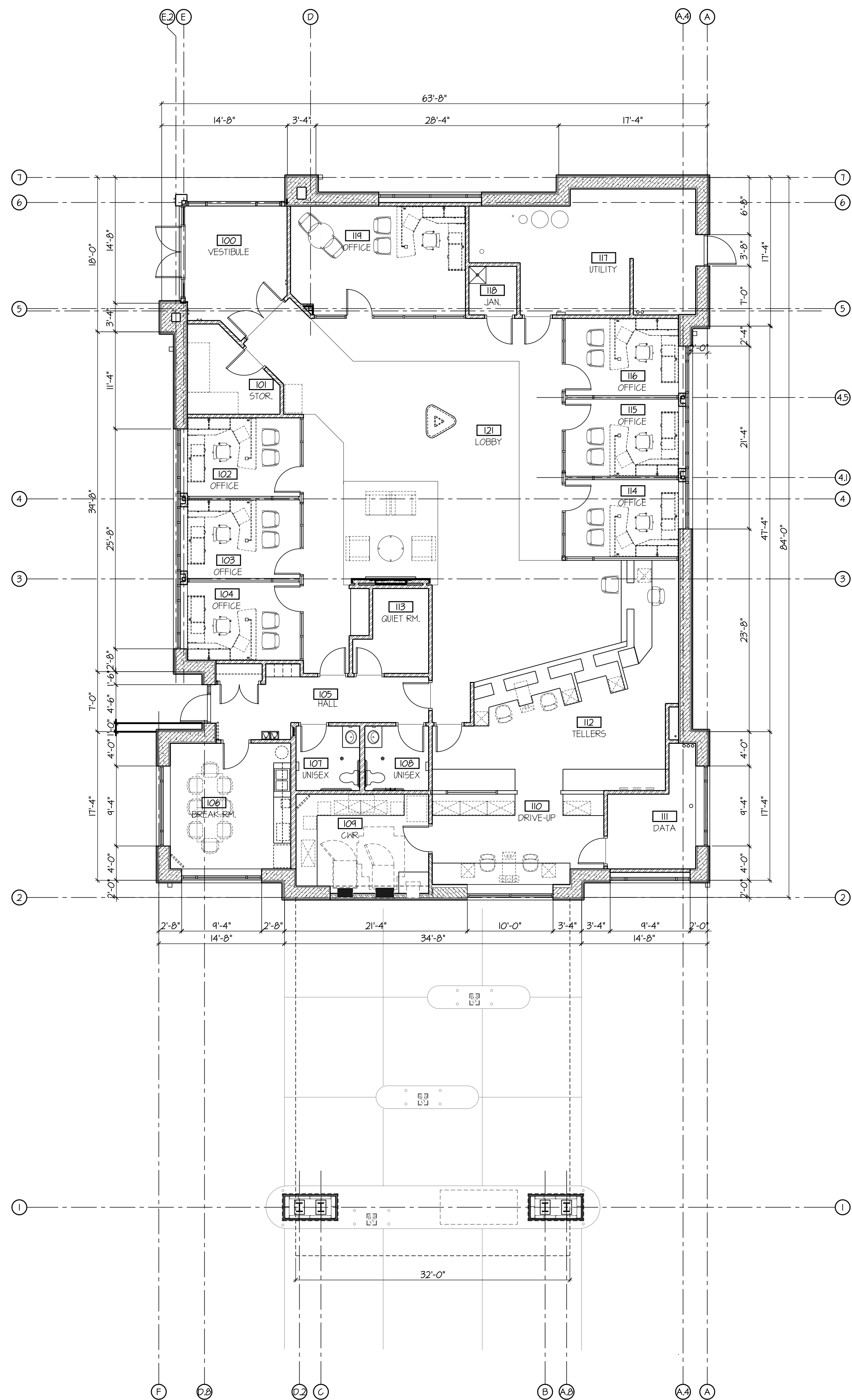
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
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STATE OF

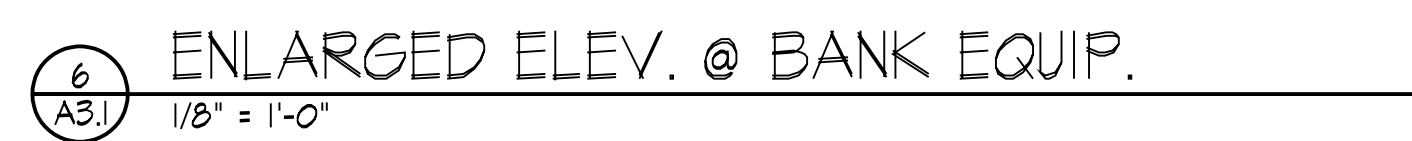
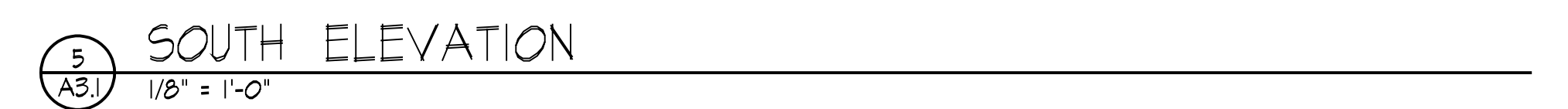
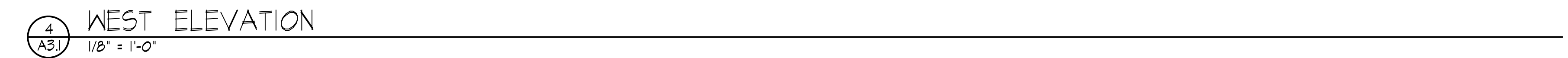
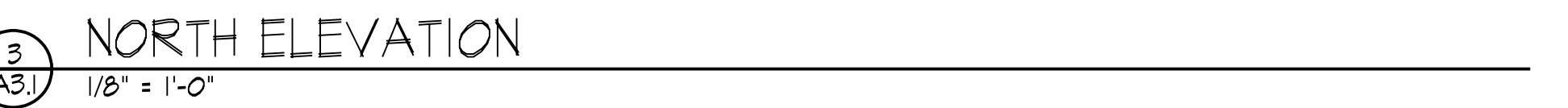
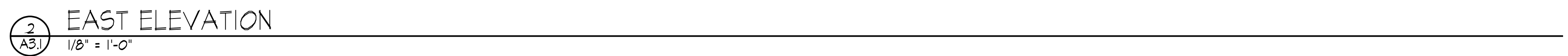
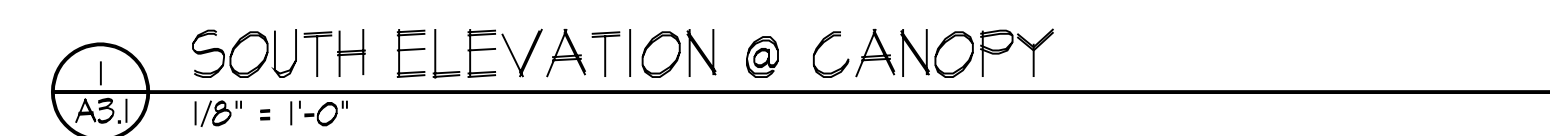
REG. NO. _____ DATE _____

DIMENSIONED FLOOR PLAN
(1/4" SCALE)

DRAWN BY: KMJ CHECKED BY: JAL

A2.1a



ee-261118.dwg Jul 07, 2026 - 2:49pm

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Hopkins, MN. 55343
Tel: 952.278.8880

PROJECT



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NEW BUILDING

4088 HAINES RD.
DULUTH, MN 55811

[illegible]

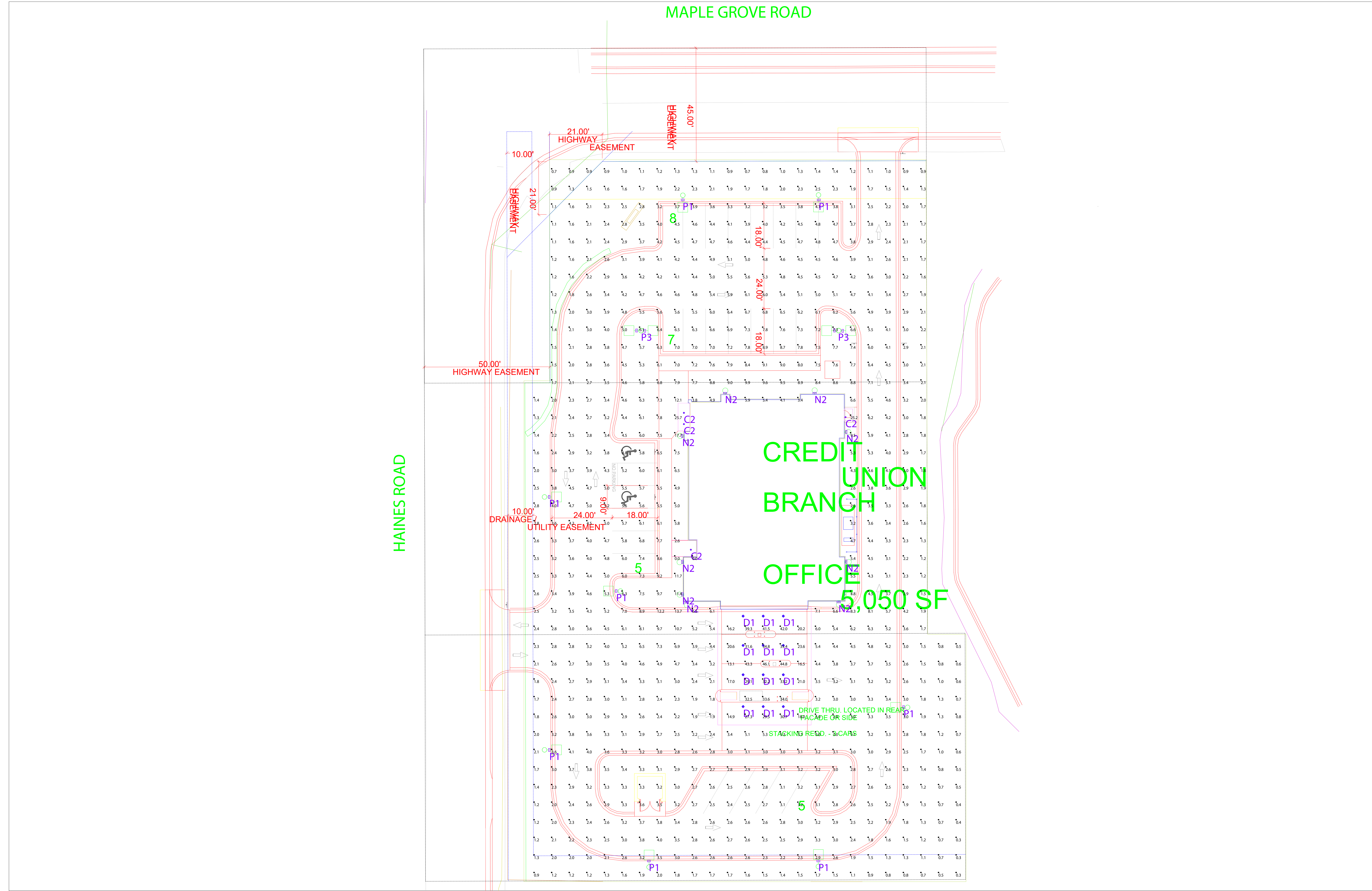
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
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LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF

REG. NO. _____ DATE _____

EXTERIOR ELEVATIONS

DRAWN BY: KMJ CHECKED BY: JL

A3.1



Scale: 1 inch= 14.55 Ft.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Illuminance	Fc	4.51	46.1	0.0	N.A.	N.A.

P TYPES ON 25FT POLES AND 30IN BASES

- Lighting Reflectance of 80/50/20 used unless noted otherwise
- Interior calc points shown at 30" A.F.F. unless noted otherwise
- Exterior calc points shown at grade unless noted otherwise
- Emergency egress calc points shown at 0" A.F.F.
- Photometric drawings are for Design purposes only, not for Construction documents

Luminaire Schedule								
Symbol	Qty	Label	Manufacturer	Description	Arrangement GROUP	Lum. Lumens	Lum. Watts	LLF
	2	P3	BEACON	VP-1-160L-100-3K7-3-UNV-ASQU-DBT AND VP-1-160L-100-3K7-4F-UNV-ASQU-DBT AT 180D ON ONE POLE		N.A.	N.A.	0.900
	4	C2	PRESCOLITE	LFR-6RD-M-20L30K8-WD-DM1 WITH LFR-6RD-T-S-CL-EMR	Single	1854	14.555	0.900
	12	D1	PRESCOLITE	LFR-6RD-M-40L30K8-XW-DM1 WITH LFR-6RD-T-S-CL	Single	4062	32.6	0.900
	9	N2	BEACON	VPW2-18L-50-3K7-4W-UNV-DBT	Single	6138	52.6	0.900
	8	P1	BEACON	VP-1-160L-100-3K7-4F-UNV-ASQU-DBT	Single	11701	92	0.900

Calculated light levels shown are estimates based on information available at time of layout request. Due to unknown site conditions JTH Lighting assumes no responsibility for installed light levels.

Project #:	
Date: 7/3/2026	
Paper Size: ARCH E1 - 30x42	